

MUNSON RESIDENCE

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PROJECT NAME: MUNSON RESIDENCE

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4628 Forest Avenue SE

Mercer Island, WA 98040 DATE OF ISSUE:

4-16-19

REVISIONS:

	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
^	

3 8-13-19, PERMIT REVIEW RESPONSES

4 8-22-19, V.E., ADD KID BATH2

DRAWING TITLE A | . | SITE PLAN

BUILDING CODE DATA:

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE CODES LISTED BELOW FOR TYPE V-B CONSTRUCTION AS AMMENDED BY THE WASHINGTON STATE BUILDING CODE AND AS ADOPTED BY THE JURISDICTION.

2015 INTERNATIONAL RESIDENTIAL CODE

2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE

- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 WASHINGTON STATE ENERGY CODE 2015 WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE WOOD FRAME CONSTRUCTION MANUAL

ENERGY CODE:

METHOD OF COMPLIANCE - PRESCRIPTIVE METHOD FOR GROUP R OCCUPANCY, CLIMATE ZONE 4C

NEW VERTICAL GLAZING = 0.28 U-VALUE OR BETTER

NEW OVERHEAD GLAZING = 0.50 U-VALUE OR BETTER NEW DOORS = 0.20 U-VALUE OR BETTER

NEW CEILING = R-49 OR BETTER

NEW VAULTED CEILING = R-38 OR BETTER

NEW EXTERIOR WALLS ABOVE GRADE = R-2I OR BETTER WITH INTERMEDIATE FRAMING NEW EXTERIOR WALLS BELOW GRADE = N/ANEW FLOORS = R-30 OR BETTER

NEW SLAB ON GRADE = R - 10 OR BETTER

GENERAL NOTES:

OCCUPANCY MUST COMPLY WITH IRC R | | O

STRUCTURAL DESIGN MUST MEET DESIGN CRITERIA SET FORTH IN IRC R301

GENERAL CONTRACTOR:

THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND ALL JOB RELATED SAFETY STANDARTS SUCH AS OSHA AND DOSH

IN CASE OF DISCREPENCIES BETWEEN THE GENERAL NOTES, DRAWINGS, AND SPECIFICATIONS, THE ARCHITECT OR ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH THE WORK. SHOULD ANY DISCREPENCIES BE FOUND IN THE CONTRACT DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE INCLUDED IN THE PRICE THE MOST EXPENSIVE WAY OF COMPLETING THE WORK, UNLESS PRIOR TO THE SUBMISSION OF THE PRICE, THE CONTRACTOR ASKS FOR A DECISION FROM THE ARCHITECT/ENGINEER AS TO WHICH SHALL GOVERN. ACCORDINLY, ANY CONFLICT IN OR BETWEEN THE CONTRACT DOCUMENTS SHALL NOT BE A BASIS FOR ADJUSTMENT IN THE CONTRACT PRICE.

ALTERNATE PRODUCTS OF SIMILAR STRENGTH, NATURE AND FORM FOR SPECIFIED ITEMS MAY BE SUBMITTED WITH ADEQUATE TECHNICAL DOCUMENTATION TO THE ARCHITECT/ENGINEER FOR REVIEW. ALTERNATE MATERIALS THAT ARE SUBMITTED WITHOUT ADEQUATE TECHNICAL DOCUMENTATION OR THAT SIGNIFICANTLY DEVIATE FROM THE DESIGN INTENT OF MATERIALS SPECIFIED MAY BE RETURNED WITHOUT REVIEW. ALTERNATES THAT REQUIRE SUBSTANTIAL EFFORT TO REVIEW WILL NOT BE REVIEWED UNLESS AUTHORIZED BY THE OWNER.

DO NOT SCALE THE DRAWINGS. DIMENSIONS GOVERN.

WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILIAR WORK. THE CONTRACTOR SHALL ASSUME CONSISTANT CONSTRUCTION PRACTICES OCCUR IN AREAS WHERE DETAILS DO NOT INDICATE SPECIFIC MATERIAL OR PROCEDURES. TYPICAL CONSTRUCTION AND INDUSTRY STANDARDS SHALL BE FOLLOWED THROUGHOUT.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION PRIOR TO COMMENCMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR TO VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES FOR COMPATIBILITY WITH SELECTED MANUFACTURER.

MECHANICAL, ELECTRICAL, AND PLUMBING IS ALL BIDDER DESIGN AND TO BE SUBMITTED SEPERATELY.

CONTRACTOR TO COORDINATE FRAMING LAYOUT WITH MECHANICAL AND ELECTRICAL PLANS.

WATER HEATERS: WATER HEATERS SHALL BE ANCHORED AGAINST MOVEMENT AND OVERTURNING IN ACCORDANCE WITH IRC MI 307.2.

GARAGE:

OPENINGS BETWEEN GARAGE AND SLEEPING SPACES ARE NOT PERMITTED. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A SOLID WOOD DOOR NOT LESS THE 13" THICK OR A 20 MIN FIRE RATED DOOR, PER IRC R302.5.1

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE CEILINGS SEPERATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN NO 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. IRC R302.5.2

DWELLING/GARAGE SEPERATION PER IRC TABLE R302.6. J" GYP ON ALL WALLS AND CEILINGS, EXCEPT FOR BELOW SLEEPING ROOMS WHICH REQUIRE & TYPE X GYP.

INSULATION: PER IRC R302.10

COMBUSTIBLE INSULATION SHALL BE SEPERATED A MIN OF 3" FROM RECESSED LUMINAIRED, FAN MOTORS AND OTHER HEAT PRODUCING DEVICES. IRC R302.13

EXTERIOR ROOF, FLOOR AND WALL CAVITIES EXPOSED DURING CONSTRUCTION SHALL BE INSULATED TO FULL DEPTH WITH INSULATION.

DUCTS LOCATED OUTSIDE OF THERMAL ENVELOPE SHALL BE INSULATED BY R-8 MIN. IRC 403.2.1.

FIREBLOCKING:

PER IRC R302.11, MATERIALS PER IRC R302.11.1

DRAFTSTOPPING

DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED (FLOOR/CEILING) SPACE DOES NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. IRC R302.12

PANELS.

LIGHTING. VENTILATION AND HEATING: GLAZING IN HABITABLE ROOMS SHALL BE ATLEAST 8% OF THE ROOM FLOOR AREA. MIN OPENABLE AREA (VENTILATION) SHALL BE ATLEAST 4% OF THE ROOM FLOOR AREA. IRC R303.1

VENTILATION REQ'S CAN ALSO BE MET THRU ADJOINING ROOMS IF THE AREA OF OPENING BETWEEN THE ROOMS IS ATLEAST 10% OF THE AREA OF THE INTERIOR ROOM AND HALF THE WALL SEPERATING THE TWO ROOMS IS OPEN. IRC R303.2

VENITLATION REQ'S CAN ALSO BE MET THRU A SUNROOM PER IRC R303.2. BATHROOMS AND WATER CLOSETS SHALL BE PROVIDED WITH GLAZING OF NOT LESS THAN 3 SF OF WHICH $\frac{1}{2}$ MUST BE OPENABLE UNLESS ARTIFICIAL VENTILATION IS SUPPLIED BY A 50 CFM FAN.

OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED ATLEAST 10 FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS AND LOADING DOCKS, UNLESS LOCATED 3' MIN BELOW.

EVERY DWELLING SHALL BE EQUIPPED WITH A WHOLE HOUSE VENTILATION SYSTEM AND SHALL COMPLY WITH MECHANICAL CODE 403.8.1 THRU 403.8.11. SYSTEMS SHALL BE DESIGNED TO SATISFY REQS OF TABLE 403.8.

TABLE 403.8.1

		# C	OF BED
FLR AREA (SF)	0- I	2-3	4-5
< 500	30	45	60
50 -3000	45	60	75
3001-4500	60	75	90
4501-6000	75	90	105
600 -7500	90	105	120

EXTERIOR WALL VENT OPENINGS SHALL BE PROTECTED WITH CORROSION RESISTANT SCREENS, LOUVERS OR GRILLES HAVING A MIN OPENING SIZE OF $\frac{1}{4}$ " AND MAX OF $\frac{1}{2}$ " PER IRC R303.5. DO NOT USE FLEXIBLE LOUVERS - THESE ALLOW BIRDS TO NEST IN THE VENTS AND THEREFORE CAN CLOG THE VENTS.

FORCED AIR HEATING SYSTEMS PER MECHANICAL CODE 705.1. COMBUSTION AIR AND DILUTION AIR SHALL BE SUPPLIED AT MIN RATE OF I CFM PER 2400BTU/H.

INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED WITH NOT LESS THAN | FOOT CANDLE OF LIGHTING MEASURED FROM THE CENTER OF TREADS. THE ILLUMINATION OF EXTERIOR STAIRS SHALL BE CONTROLLED FROM THE INTERIOR OF THE DWELLING. IRC R303.6

RECESSED LUMINAIRES SHALL MEET THE REQ'S OF IRC 402.4.4.

75% OF ALL PERMANANTLY INSTALLED LAMPS SHALL BE HIGH EFFICACY. IRC 404.1

REQUIRED GLAZED OPENINGS SHALL OPEN DIRECTLY TO THE OUTDOORS PER IRC R303.7 OR TO A SUNROOM WITH CEILING GREATER THAN 7'-O" PER IRC303.7.1.

CEILING HEIGHTS:

HABITABLE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-O". NOT MORE THAN 50% OF THE REQ'D FLOOR AREA IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7'-0" IN HEIGHT WITH NO PORTION LOWER THAN 5'-0". BATHROOMS SHALL HAVE A MIN CEILING HEIGHT OF 6'-8" OVER THE FRONT OF FIXTURE. IRC R305.1. BASEMENTS THAT DO NOT CONTAIN HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6'-8". BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS MAY PROJECT TO WITHIN 6'-4" OF THE FINISHED FLOOR.

BATHROOMS

WALLS CONTAINING OR SURROUNDING SHOWER HEADS SHALL BE FACED WITH A NON ABSORBANT SURFACE TO A HEIGHT OF ATLEAST 6'-O" ABOVE THE FLOOR. IRC R307.2

CLEAR WIDTH AND MIN 2 | " FRONT CLEARANCE. IRC R307.2

GLAZING: SAFETY GLAZING IS REQ'D IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS.

SAFETY GLAZING IS REQ'D WHEN IT'S VERTICAL EDGE IS WITHIN A 24" ARC OF A DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE, UNLESS THERE IS A PERMANENT BARRIER BETWEEN THE DOOR AND GLAZING OR IT IS ADJACENT TO THE FIXED PANEL OF A SLIDING DOOR. IRC R 308.4

SAFETY GLAZING IS REQ'D WHEN THE INDIVIDUAL PANEL MEETS ALL OF THE FOLLOWING CONDITIONS: IT IS LARGER THAN 9 SF, THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR AND A WALKING SURFACE IS WITHING 36". IRC R308.4

SAFETY GLAZING IS REQ'D IN ALL GLASS RAILINGS, WET ROOM ENCLOSURES WITH BOTTOM EDGE LESS THAN 60" ABOVE THE WALKING SURFACE, AREAS ADJACENT TO STAIRS AND LANDINGS WITHIN 36" HORIZONTALLY AND 60" VERTICALLY.

RECESSED LUMINAIRES SHALL MEET THE REQ'S OF IRC 402.4.4.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN $\frac{1}{2}$ " GYP OR $\frac{3}{8}$ " WOOD STRUCTURAL

ROON	ЛS
6-7	>7
75	90
90	105
105	120
120	135
135	150

MIN FIXTURE CLEARANCES PER IRC TABLE R307.1. WATERCLOSETS SHALL HAVE MIN 30"

SLOPED GLAZING PER 308.6. ALL UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN 3:12 SHALL BE MOUNTED ON A CURB EXTENDING AT LEAST 4" ABOVE THE ROOF PLANE. IRC R308.6.8.

EXTERIOR WINDOWS AND DOORS:

WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISH GRADE, THE SILL MUST BE A MINIMUM OF 24" ABOVE FINISH FLOOR. IF THE SILL IS ANY LOWER, IT MUST NOT ALLOW A 4" SPHERE TO PASS THRU OR BE PROVIDED WITH A WINDOW GUARD PER IRC RG | 2.

EMERGENCY ESCAPE AND RESCUE OPENINGS:

PER IRC R310. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. ESCAPES SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ESCAPES SHALL OPEN DIRECTLY INTO A YARD OR PUBLIC WAY. ESCAPES SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF. MINIMUM OPENING HEIGHT SHALL BE 24" AND MINIMUM OPENING WIDTH SHALL BE 20".

WINDOW WELLS SHALL HAVE A MINIMUM FLOOR AREA OF 9 SF. LADDERS OR STEPS CAN ENCROACH G". WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH A PERMANENT LADDER OR STEPS PER IRC R3 | 0.2.1. BARS, GRILLES, COVERS, OR SCREENS ARE ALLOWED PROVIDED THAT ONE CAN EXIT WITHOUT USE OF A KEY, TOOL OR ANY SPECIAL FORCE.

AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. IT SHALL BE SIDE-HINGED AND HAVE A MIN CLEAR WIDTH OF 32" AND MIN CLEAR HEIGHT OF 78". IT SHALL BE OPENABLE WITHOUT A KEY OR SPECIAL KNOWLEDGE OR EFFORT. IRC R3 | 1.2.

ALL EXTERIOR LANDINGS SHALL HAVE A WIDTH NO LESS THAN THE DOOR BEING SERVED AND DEPTH SHALL BE NO LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS ARE PERMITTED TO HAVE A SLOPE LESS THAN $\frac{1}{4}$ " PER FOOT DIRECTED AWAY FROM STRUCTURE. IRC R3 | 1.3. LANDINGS SHALL NOT BE LOWER THAN 1/2" BELOW THE TOP OF THRESHOLD. IF THE DOOR DOES NOT SWING OVER THE LANDING, THE LANDING MAY BE UP TO $7\frac{3}{4}$ " BELOW THE TOP OF THRESHOLD.

THE MINIMUM WIDTH OF A HALLWAY SHALL NOT BE LESS THAN 3'-0"

STAIRS & RAMPS

WIDTH SHALL NOT BE LESS THAN 3'-O". MINIMUM HEADROOM IN ALL PARTS OF STAIRWAY SHALL NOT BE LESS THAN 6'-8".

THE MAXIMUM RISER HEIGHT SHALL BE $7\frac{3}{4}$ ". THE MINIMUM TREAD DEPTH SHALL BE 10". WINDER TREADS PER IRC R311.7.4.2.

SOLID RISER NOSINGS SHALL BE BETWEEN $\frac{3}{4}$ " AND $1\frac{1}{4}$ ". OPEN RISERS ARE ALLOWED PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT ALLOW A 4" SPHERE TO PASS THRU. NOSINGS ARE NOT REQ'D IF TREAD DEPTH IS A MINIMUM OF 11". OPENINGS BETWEEN TREADS ARE NOT LIMITED PROVIDED THE STAIRS ARE LESS THAN 30" HIGH.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE BETWEEN 34" AND 38" ABOVE TREADS. GRIP SIZE PER IRC R3 | 1.7.7.3.

STAIRS SHALL BE ILLUMINATED IN ACCORDANCE WITH IRC R303.6.

SPIRAL STAIRWAYS PER IRC R3 | 1.7.9.1.

A 6" SPHERE IS NOT ALLOWED TO PASS THRU THE SIDE OPENINGS BETWEEN GUARDS/RAILING AND STAIRS. IRC R3 | 2.3

RAMPS PER IRC R3 | | .8.

ALL ENCLOSED UNDER STAIR SIDE SURFACES SHALL BE FACED WITH 1 GYP. PER IRC R302.7

GUARDS NOT LESS THAN 36" REQ'D ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30" VERTICALLY ABOVE ANY POINT WITHIN 36" HORIZONTAL

GUARDRAILS AND HANDRAILS SHALL WITHSTAND A LIVE LOAD OF ATLEAST 200 PSF. INFILL COMPONENTS SHALL RESIST A MIN 50 PSF LOAD. IRC TABLE R301.5.

SMOKE ALARMS:

SMOKE ALARMS SHALL BE INSTALLED ON EACH FLOOR INCLUDING HABITABLE ATTICS AND BASEMENTS. THEY SHALL ALSO BE LOCATED IN EVERY SLEEPING ROOM. THEY SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. IRC R3 | 4.3

CARBON MONOXIDE ALARMS:

IN NEW CONSTRUCTION, APPROVED CARBON MONOXIDE ALARMS ARE REQ'D OUTSIDE OF EACH SLEEPING AREA WHEN THERE ARE FUEL FIRED APPLIANCES WITHIN THE DWELLING. IN ADDITIONS AND OR ALTERATIONS REQUIRING A PERMIT, CARBON MONOXIDE ALARMS ARE ALSO REQ'D IN THE SAME LOCATIONS. IRC R3 | 5

GAS APPLIANCES:

CONTRACTOR TO MAKE SURE PLUMBER ACCOUNTS FOR THE TOTAL BTU'S OF ALL GAS EQUIPTMENT AND LENGTH OF GAS LINE TO DETERMINE DIAMETER OF NEW PIPES. EXTERIOR GAS SHUT-OFF VALVE PLACEMENT TO BE LOCATED WITH IN 3'-12' FROM GAS GRILL.

WOOD IN LOCATIONS LISTED IN IRC R3 | 7.1 SHALL BE PROTECTED PER IRC R3 | 7.1 BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPU UI. THIS INCLUDES ALL WOOD IN CONTACT WITH THE GROUND, CONCRETE, OR WITHIN MINIMAL CLEARANCE LIMITS OF SUCH.

R703.7

CLEARING AND GRADING THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' AROUND THE PERIMETER OF THE HOUSE. WHERE PHYSICAL BARRIERS PROHIBIT SUCH SLOPE, DRAINS OR SWALES MAY BE COSTRUCTED. IMPERVIOUS SURFACES WITHIN 10' OF BUILDING MUST HAVE A MINIMUM 2% SLOPE AWAY FROM THE BUILDING. IRC R401.3

ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE EFFECTED BY THE WORK.

ALL CLEARING AND GRADING MUST BE IN ACCORDANCE WITH LOCAL JURISDICTION CLEARING AND GRADING EROSION CONTROL STANDARDS, DEVELOPMENT STANDARDS, LAND USE CODE, INTERNATIONAL RESIDENTIAL CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITH THESE PLANS HAVE BEEN REVIEWED TO THESE REQUIREMENTS. ANY VARIANCE FROM THE ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.

UNLESS A SOILS REPORT ENGINEER IS PROVIDED AND ATTACHED, THIS OFFICE ASSUMES NO RESPONSIBILITY AS TO THE PHYSICAL CHARACTERISTICS OF THE SOIL. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1'-6" BELOW LOWEST ADJACENT GRADE, FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, DEBRIS AND FREE OF WATER AT ALL TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.

WATERPROOFING & DAMPROOFING EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR LIVING SPACE SHALL BE WATERPROOFED FROM TOP OF FOOTING TO FINISHED GRADE IN ACCORDANCE WITH ONE OF THE METHODS LISTED IN IRC R406.2.

EXTERIOR WALLS THAT ARE TO BE MODIFIED FOR OPENINGS ARE TO BE REPAIRED IN SUCH A MANNER AS TO ENSURE THAT THE EXISTING CONTINUOUS VAPOR BARRIER IS INTACT. THE VAPOR BARRIER IS TO BE ON THE WARM SIDE OF THE WALL WITH RESPECT TO ITS RELATIONSHIP TO THE INSULATION.

DOORS AND WINDOWS SHALL BE FLASHED PER IRC R703.8. REFER TO WINDOW INSTALLATION DETAIL SHEET AG. I.

UNDER FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALL. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN I SF FOR EACH I 50 SF OF UNDER-FLOOR AREA. ONE OPENING SHALL BE WITHIN 3' OF EACH CORNER WHEREVER POSSIBLE. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF ATLEAST TWO OPPOSITE SIDES. IRC R408. FOUNDATION VENTS SHALL BE PLACED SO HAT THE TOP OF VENT IS LOWER THAN THE BOTTOM OF FLOOR INSULATION. IF VENTS ARE NOT LOWER, A BAFFLE MUST BE INSTALLED PER IRC 402.2.7. IF USING A MECHANICAL SYSTEM, THE EXHAUST RATE SHALL BE NOT LESS THAN 0.02 SFM PER SF OF HORIZONTAL AREA AND SHALL BE AUTOMATICALLY CONTROLLED TO OPERATE WHEN THE RELATIVE HUMIDITY OF THE SPACE SERVED EXCEEDS 60%. PER MECHANICAL CODE 406.1. SYSTEM MUST ALSO MEET CITY OF SEATTLE ADDITIONAL REQS TO CODE.

PROVIDE 18" MINIMUM CRAWL SPACE UNDER WOOD JOIST AND 12" MINIMUM CRAWL SPACE UNDER WOOD GIRDERS.

A GROUND VAPOR BARRIER OF MIN 6 MIL POLYETHYLENE (OR EQUIVALENT) SHALL BE INSTALLED IN ALL CRAWL SPACES, JOINTS LAPPED 12", EXTEND UP FOUNDATION WALL AND SECURE TO SILL PLATE WHEREVER PRACTICAL. IRC R 405.2.2

CRAWL SPACE ACCESS MUST BE PROVIDED PER IRC R408.4. ACCESS CLEARANCE THRU A FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS CLEARANCE THRU A PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24".

SOLAR SYSTEMS |40|.|.

FACTORY BUILT CHIMNEYS AND FIREPLACES: WHERE MASONRY IS USED TO VENEER A FRAMED CHIMNEY, THROUGH FLASHING AND WEEP HOLES SHALL BE INSTALLED AS REQUIRED BY IRC SECTION R703.

FACTORY BUILT FIREPLACES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. PER IRC SECTION R | 005

FASTENERS AND CONNECTIONS IN CONTACT WITH PRESERVATIVE OR FIRE RETARDANT TREATED WOOD SHALL BE IN ACCORDANCE WITH IRC R3 | 7.3.

STONE AND MASONRY VENEER ANCHORAGE, DETAILS, FLASHING AND WEEPHOLES PER IRC

UNLESS INDICATED OTHERWISE, ALL NEW INTERIOR WALLS SHALL BE FRAMED WITH 2x4 STUDS 16"O.C. WITH 1/2" GYPSUM BOARD EA. SIDE. WALLS THAT ARE TO RECIEVE TILE OR STONE MAY OMIT THE GYPSUM IN LIEU OF AN APPROPRIATE BACKING MATERIAL. SHOWER STALL WAINSCOT SHALL BE A MINIMUM OF 72 INCHES ABOVE THE FLOOR.

CRAWLSPACE UNOBSTRUCTED ACCESS TO BE MINIMUM 18" X 24". IRC R408.4

STRUCTURAL INSULATED PANEL WALL CONSTRUCTION

SIP'S SHALL CONFORM TO IRC RG I 3. THEIR USE IS LIMITED TO BUILDINGS NOT GREATER THAN 60' IN LENGTH (PERPENDICULAR TO JOIST), 40' IN WIDTH (PARALLEL TO JOIST) AND 10' IN HEIGHT. THEY ARE ALSO LIMITED TO SEISMIC DESIGN CATEGORIES A, B AND C, SNOW LOAD OF 70LBS PER FOOT AND MAX WIND SPEED OF 130 MILES PER HOUR.

PHOTOVOLTAIC SOLAR SYSTEMS THAT GENERATE ELECTRICITY SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 IBC AND IF IN SEATTLE, ALSO IN ACCORDANCE WITH ARTICLE 690 OF THE SEATTLE ELECTRICAL CODE. SYSTEMS INTERCONNECTED TO THE ELECTRIC GRID SHALL COMPLY WITH ADDITIONAL REQS OF SEATTLE CITY LIGHT. PER MECHANICAL CODE



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DRAWING TITLE .2 GENERAL NOTES



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DRAWING TITLE AI.3 SIMPLE SITE PLAN



KEY

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= = = = REMOVE EXISTING WALL NEW WALL

> \odot VENT TO OUTSIDE

- SMOKE DETECTOR/ CARBON MONOXIDE ALARM
- WINDOW CALL OUT REFER TO SCHEDULE, SHEET AG. I
- DOOR CALL OUT REFER TO SCHEDULE, SHEET AG. I
- DOWNSPOUT

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REMOVE EXISTING WALL NEW WALL



- VENT TO OUTSIDE
- SMOKE DETECTOR/ CARBON MONOXIDE ALARM
- WINDOW CALL OUT REFER TO SCHEDULE, SHEET AG. I
- DOOR CALL OUT REFER TO SCHEDULE, SHEET AG. I
- DOWNSPOUT



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FIRST FLOOR PLAN

SCALE: |/4" = |'-0"





NEW "FLAT" ROOFS

* STUFF NEW OVER-FRAMED CAVITIES, BELOW NEW "FLAT" ROOFS WITH BATT INSULATION. * NEW "FLAT" ROOFS ARE TO BE FULLY INSULATED AND NON-VENTED.

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130 105th Bellevue, 425.4²

4628 Forest Avenue SE

Mercer Island, WA 98040 DATE OF ISSUE:

4-16-19

REVISIONS:

\triangle	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
<u>}</u>	8-13-19, PERMIT REVIEW RESPONSES
\triangle	8-22-19, V.E., ADD KID BATH2

SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

DRAWING TITLE A2.3 SECOND FLOOR PLAN







2 A4. |





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(E) BASEMENT SUBFLOOR

DRAWING TITLE A3.1 WEST ELEVATIONS







SOUTH ELEVATION - AFTER

(E) FACADE HEIGHT

(E) SECOND FLOOR PLATE	
(E) SECOND SUBFLOOR (E) FIRST FLOOR PLATE	29'-7 7/8"
(E) FIRST SUBFLOOR. (E) BASEMENT PLATE.	



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DRAWING TITLE A3.2 SOUTH ELEVATIONS







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DRAWING TITLE A3.3 EAST ELEVATIONS

(E) FIRST FLOOR PLATE

(E) FIRST SUBFLOOR







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$\overline{\mathbb{A}}$	8-22-19, V.E., ADD KID BATH2

DRAWING TITLE A3.4 NORTH ELEVATIONS

FOYER & DINING PLATE (E) FIRST FLOOR PLATE

(E) FIRST SUBFLOOR (E) BASEMENT PLATE

(E) BASEMENT SUBFLOOR

(E) FIRST FLOOR PLATE

(E) FIRST SUBFLOOR (E) BASEMENT PLATE

(E) BASEMENT SUBFLOOR

FOYER ¢ DINING PLATE	
(E) FIRST FLOOR PLATE	
HEATED EXTERIOR WALL ASSEMBLY: * IX 6 HORIZONTAL CLEAR CEDAR T&G * ³ / ₄ " AIR SPACE (IX BATTS @ I 6" o.c.) * WATER RESISTIVE BARRIER * SHEATHING PER STRUCTURAL ENGINEER * 2x6 STUDS @ I 6" o.c. w/ R-21 INSULATIO * ¹ / ₂ " GYPSUM WALL BOARD * VAPOR BARRIER PRIMER	
(E) FIRST SUBFLOOR	
(E) DASEMENT FLATE	
(E) BASEMENT SUBFLOOR	

SECTION | - | 5CALE: 1/4" = 1'-0"







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DRAWING TITLE A4.1 SECTIONS





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DRAWING TITLE A5.I DETAILS



8- PORCH

SCALE: |" = |'-0"



10 - FOYER STAIRS

SCALE: 3/4'' = 1'-0''





9 - PORCH STEPS

SCALE: |'' = |'-0''



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DRAWING TITLE A5.2 DETAILS



PENETRATION FLASHING RECOMMENDATIONS

BY NORTHWEST WALL AND CEILING BUREAU



INSTALLATION 2: ATTACH SILL FLASHING AT EDGE OF OPENING ONLY, EXTEND PAST JAMB FLASHING.



3: ATTACH JAMP PEICES, LAP OVER SILL PIECE AND LEAVE BOTTOM TABS UNATTACHED. SILICONE SEALANT PER ASTM C-920.

- WINDOW INSTALLATION NOT TO SCALE







SCALE: 3" = 1'-0"



4: APPLY A CONTINUOUS BEAD OF SEALANT WITHIN 1/2" OF OPENING. SET WINDOW ONTO SEALANT AND FASTEN TO STRUCTURE. INSPECT WINDOW FINS FOR DAMAGE. DRIP FLASHING: EXTERIOR GRADE PVC MEETING ASTM D-1784 OR MINIMUM 24 GA GALVANIZED STEEL.



5: APPLY FLASHING PAPER @ HEAD OF WINDOW OVER NAIL FLANGE. NOTE: REMOVE WRINKLES AND INSPECT FOR TEARS.



6: SLIP WATER RESISTIVE BARRIER UNDER SILL FLASHING. 2ND COURSE OF BUILDING PAPER LAPS OVER JAMB FLASHING AND 3RD COURSE LAPS OVER HEAD FLASHING. BUILDING PAPER MUST HAVE HORIZONTAL LAPS OF 2" MIN (4" TO 6" RECOMMENDED). VERTICAL LAPS MUST BE 6" MIN. (9" TO 12" RECOMMENDED). NOTE: SILL FLASHING AND JAMB TABS ARE EXPOSED AND WILL SHED WATER DOWN AND ONTO THE BUILDING PAPER AND MUST BE ALLOWED TO ULTIMATELY WEEP OUT.

WINDOW SCHEDULE

	- MATCH (E) WINDOW'S	MATERIAL, INTERIOR & EXTERIOR CO	LORS			
	OPERATION (SEE PLANS & ELEVS)	HEADER HEIGHT (ABOVE SUBFLOOR)	SAFETY GLAZED	HARDWARE (MATCH (E))	EGRESS	COMMENTS
(E) MSTR WIC WIN	AWN	(E)	YES		YES	
Ν						
	SGD					
2'-0" TALL		2'-5 1/2" ABV SGD HEAD	YES			IF WIDTH IS NOT POSSIBLE, IT CAN BE DIVIDED IN HALF FOR 2 MULLED TOGETHER
	PIC		YES			FII SPACE BEWIEEN IRIM, SEE ELEV
(E) MSTR WIC WIN		ALIGN W/ MSTR W.I.C.				
	PIC	CENTER WIN BETWEEN WIN BLW 4	₽ PL			
	PIC	ALIGN W/ #204				
	PIC	ALIGN W/ #204				
(E) MSTR WIC WIN	PIC	ALIGN W/ MSTR W.I.C.	YES			
	SGD					CRYSTALITE SKYLIGHT
	PIC					CRYSTALITE SKYLIGHT
	PIC					CRYSTALITE SKYLIGHT
	PIC					CRYSTALITE SKYLIGHT
EDULE	MATCH (E) INTERIOR [200R5				
HDR HEIGHT	OPERATION (SEE PLANS & ELEV/S	SAFETY HARDW	ARE EGRESS	COMMENTS		

MATCH (E)	SWING			
MATCH (E)	SWING			
MATCH (E)	SWING			
PER MANUF	POCKET			
MATCH (E)	SWING			
MATCH (E)	SWING	YES	EXTERIOR DOOR, SEE SPECIFICATIONS	
MATCH (E)	SWING			
MATCH (E)	SWING			
EXISTING	OVERHEAD GARAGE DOOR		SEE SPECIFICATIONS	
EXISTING	OVERHEAD GARAGE DOOR		SEE SPECIFICATIONS	
PER MANUF	POCKET			
6'-10 1/2"	SWING			
PER MANUF	POCKET			
6'-10 1/2"	SWING			
PER MANUF	POCKET			
PER MANUF	POCKET			
PER MANUF	BARN DOOR		SEE SPECIFICATIONS	
PER MANUF	BI-PASS			

GENERAL NOTES

I. WINDOW MANUFACTURER: MATCH EXISTING 2. ALL GLAZING SHALL BE DOUBLE GLAZED W/ (1) LAYER OF LOW-E COATING 🛿 🐉 AIRSPACE FILLED WITH ARGON GAS AS REQ'D. AVERAGE U-VALUE TO BE .28 OR BETTER.

3. ALL DOOR ≰ WINDOW HEAD CASINGS TO ALIGN, U.N.O. 4. G.C./SUB-CONTRACTOR TO VERIFY UNIT HEIGHT AND ROUGH



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 PROVIDE SCREENS AT ALL OPERABLE WINDOWS.
 G.C./ SUB-CONTRACTOR TO VERIFY EGRESS WINDOWS MEET IRC CODE W/ MIN CLEAR OPENING OF 20" WIDTH & 24" HEIGHT &

MIN 5.7 SF NET OPENING \ddagger 44" MAX SILL HEIGHT. 9. PROVIDE A LIMITER NOT MORE THAN 4" ABOVE SILL HEIGHTS

OF LESS THAN 24", TYP. IO. ALL EXTERIOR DOORS, OF HEATED SPACES, SHALL HAVE LOW PROFILE THRESHOLDS AND WEATHERSTRIPPING.



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A6.1
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SCALE: 1/2" = 1'-0"



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	HALLWAY BEYOND







2-MASTER BATH SCALE: 1/2" = 1'-0"



5-MASTER BATH SCALE: 1/2" = 1'-0"

3-MASTER BATH

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"



X			

4-MASTER BATH

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GENERAL STRUCTURAL NOTES:

1.1 All Materials, workmanship, design, and construction shall conform to the drawings, specifications, and the International Building Code (IBC), 2015 Edition. 1.2 Design Loading Criteria

The Design Loading of the Structure is as follows:

Floor, Residential 40-psf - Balconies & Decks 60-psf - 1.5 x Occupancy Load Uninhabitable attic, with storage 20-psf - Concurrent with Snow Loads Unihabitable attic, without storage 10-psf - Non-concurrent with Snow Loads Handrails and Guards - 200-lbs Any point, any direction (ASCE 7-10, Section 4.5.1) Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Seismic Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Risk Catagory Risk Catagory Ultimate Design Wind Speed, V _{asd} 110-mph 85-mph Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Risk Catagory III Mapped Spect. Accel., Short Period, S _S Mapped Spect. Accel., Short Period, S _S Mapped Spect. Accel., Short Period, S _{DS} Spectral Response Coeff., 1-Sec, S _{D1} Site Class Ster Class Spectral Response Coeff., 1-Sec, S _{D1} Seismic Design Catagory Snow Loads (ASCE 7-10, Chapter 7) Image: Seismic Period, R _S Seismic Response Coeff., 1-Sec, S _{D1} Ground Snow Load, P _g 25-psf Seismic Response Coefficient, C _S Seismic Response Coefficient, C _S Flat Roof Snow Load, P _g 25-psf Seismic Response Coefficient, C _S Seismic Response Coef	Occupancy or Use	Unifor	rm Live bad	Conce Live	ntrated Load	Notes	
Balconies & Decks 60-psf - 1.5 x Occupancy Load Uninhabitable attic, with storage 20-psf - Concurrent with Snow Loads Unihabitable attic, without storage 10-psf - Non-concurrent with Snow Loads Handrails and Guards - 200-lbs Any point, any direction (ASCE 7-10, Section 4.5.1) Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Uttimate Design Wind Speed (3-sec gust), V _{uit} 110-mph 85-mph Risk Catagory Risk Catagory Wind Exposure B 10 Sterrior Components and Cladding 25-psf Topographical Factor, K _{zt} 1.00 Seismic Design Catagory Spectral Response Coeff., 1-Sec, Sp1 Snow Loads (ASCE 7-10, Chapter 7) Esterior Components and Cladding 25-psf Seismic Design Catagory Ground Snow Load, P _g 25-psf Seismic Force-Resistance System Ply. Shear Flat Roof Snow Load, P _g 25-psf Seismic Response Coefficient, C _g Design Race Shopt V	Floor, Residential	40	-psf		-		
Uninhabitable attic, with storage 20-psf - Concurrent with Snow Loads Unihabitable attic, without storage 10-psf - Non-concurrent with Snow Loads Handrails and Guards - 200-lbs Any point, any direction (ASCE 7-10, Section 4.5.1) Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Asce 7-10, Section 12.8: Equivalent Lateral Force Procedure Ultimate Design Wind Speed (3-sec gust), V _{ult} 110-mph 85-mph Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Risk Catagory III Mapped Spect. Accel., Short Period, Sg Mapped Spect. Accel., 1-Sec, Sq Seismic Design Catagory Wind Exposure B Site Class Spectral Response Coeff., Short Period, Sg Spectral Response Coeff., Short Period, Sg Topographical Factor, K _{zt} 1.00 Seismic Design Catagory Seismic Design Catagory Snow Loads (ASCE 7-10, Chapter 7) 25-psf Seismic Force-Resistance System Ply. Sheat Response Modification Factor, R Seismic Response Coefficient, Cg Seismic Response Coefficient, Cg Seismic Response Coefficient, Cg Basic Seismic Response Coeffication Factor, R Seismic Response Coefficient, Cg Seismic Response Coefficient, Cg Seismic Response Coefficient, Cg	Balconies & Decks	60	-psf		-	1.5 x Occupancy Load	
Unihabitable attic, without storage 10-psf - Non-concurrent with Snow Loads Handrails and Guards - 200-lbs Any point, any direction (ASCE 7-10, Section 4.5.1) Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Ultimate Design Wind Speed (3-sec gust), V _{uit} 110-mph 85-mph Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Risk Catagory III Napped Spect. Accel., Short Period, S _S Mapped Spect. Accel., 1-Sec, S ₁ Maped Spect. Accel., 1-Sec, S ₁ Wind Exposure B Site Class Spectral Response Coeff., Short Period, S _{DS} Spectral Response Coeff., 1-Sec, S _{D1} Topographical Factor, K _{zt} 1.00 Seismic Design Catagory Spectral Response Coeff., 1-Sec, S _{D1} Siew Loads (ASCE 7-10, Chapter 7) Seismic Design Catagory Basic Seismic-Force-Resistance System Ply. Sheat Response Modification Factor, R Ground Snow Load, P _g 25-psf Seismic Response Coefficient, C _S Seismic Response Coefficient, C _S Flat Roof Snow Load, P _f = 0.7 C _e C ₁ Is P _g 25-psf Design Response Coefficient, C _S Seismic Response Coefficient, C _S	Uninhabitable attic, with storage	20	-psf		-	Concurrent with Snow Loads	
Handrails and Guards - 200-lbs Any point, any direction (ASCE 7-10, Section 4.5.1) Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Ultimate Design Wind Speed (3-sec gust), V _{uit} 110-mph 85-mph Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Risk Catagory III Maped Spect. Accel., Short Period, S _S Mapped Spect. Accel., 1-Sec, S ₁ Seismic Importance Factor, I _e Internal Pressure Coefficient N/A Site Class Spectral Response Coeff., Short Period, S _{DS} Spectral Response Coeff., 1-Sec, S _{D1} Snow Loads (ASCE 7-10, Chapter 7) Easterior Force-Resistance System Ply. Sheat Ground Snow Load, P _g 25-psf Seismic Response Coefficient, C _S Seismic Response Coefficient, C _S Flat Roof Snow Load, P _f = 0.7 Ce C ₁ Is P _g 25-psf Special Response Coefficient, C _S Page Shear, V Out 21 V	Unihabitable attic, without storage	10-	-psf		-	Non-concurrent with Snow Loads	
Wind Design Data ASCE 7-10, Chapter 28: Simplified Envelope Procedure Seismic Design Data ASCE 7-10, Section 12.8: Equivalent Lateral Force Procedure Ultimate Design Wind Speed (3-sec gust), V _{ult} 110-mph 85-mph Risk Catagory III Risk Catagory III Mapped Spect. Accel., Short Period, S _S Mapped Spect. Accel., 1-Sec, S ₁ Site Class Exterior Components and Cladding 25-psf Site Class Spectral Response Coeff., 1-Sec, S _{D1} Sonow Loads (ASCE 7-10, Chapter 7) Sonow Load, P _g 25-psf Seismic Design Catagory Ply. Sheat Ground Snow Load, P _g 25-psf Seismic Design Catagory Seismic Design Catagory Ply. Sheat Flat Roof Snow Load, P _f = 0.7 Ce C ₁ Is P _g 25-psf Spectral Response Coefficient, C _S Ply. Sheat	Handrails and Guards		-	200)-lbs	Any point, any direction (ASCE 7-10, Section	1 4.5.1)
Ultimate Design Wind Speed (3-sec gust), V _{ult} 110-mph 85-mph Risk Catagory Risk Catagory Risk Catagory III Wind Exposure B Seismic Importance Factor, Ie Wind Exposure B Mapped Spect. Accel., Short Period, S _S Mapped Spect. Accel., 1-Sec, S ₁ Internal Pressure Coefficient N/A Site Class Site Class Topographical Factor, K _{zt} 1.00 Spectral Response Coeff., 1-Sec, S _{D1} Seismic Design Catagory Snow Loads (ASCE 7-10, Chapter 7) Basic Seismic-Force-Resistance System Ply. Sheat Ground Snow Load, P _g 25-psf Seismic Response Coefficient, C _S Seismic Response Coefficient, C _S Flat Roof Snow Load, P _f = 0.7 Ce Ct Is P _g 25-psf Design Rase Shear V/ Out 25 v/	Wind Design Data ASCE 7-10, Chapter 28: Simplified	Envelope	Procedu	ure	Seism ASCE	c Design Data 7-10, Section 12.8: Equivalent Lateral Force	Procedure
Risk Catagory III Wind Exposure B Internal Pressure Coefficient N/A Exterior Components and Cladding 25-psf Topographical Factor, K _{zt} 1.00 Snow Loads (ASCE 7-10, Chapter 7) Seismic Response Coefficient, C _S Ground Snow Load, P _g 25-psf Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s P _g 25-psf	Ultimate Design Wind Speed (3-sec g	ust), V _{ult}		110-mph 85-mph	Risk Ca	atagory	I
Internal Pressure Coefficient N/A Exterior Components and Cladding 25-psf Topographical Factor, K _{zt} 1.00 Snow Loads (ASCE 7-10, Chapter 7) 1.00 Ground Snow Load, P _g 25-psf Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s P _g 25-psf	Risk Catagory				Seismi	c Importance Factor, l _e	1.0
Internal Pressure Coefficient N/A Exterior Components and Cladding 25-psf Topographical Factor, K _{zt} 1.00 Snow Loads (ASCE 7-10, Chapter 7) 1.00 Ground Snow Load, P _g 25-psf Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s P _g 25-psf					Mappe	d Spect. Accel., Short Period, S _S d Spect. Accel., 1-Sec. S.	1.500
Exterior Components and Cladding 25-psf Topographical Factor, K _{zt} 1.00 Snow Loads (ASCE 7-10, Chapter 7) 1.00 Ground Snow Load, P _g 25-psf Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s P _g 25-psf	Internal Pressure Coefficient			 N/A	Site Cla		
Topographical Factor, K _{zt} 1.00 Snow Loads (ASCE 7-10, Chapter 7) Spectral Response Coeff., 1-Sec, S _{D1} Ground Snow Load, P _g 25-psf Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s P _g 25-psf	Exterior Components and Cladding			25-psf	Spectra	al Response Coeff., Short Period, S _{DS}	1.000
Snow Loads (ASCE 7-10, Chapter 7) Seismic Design Catagory Ground Snow Load, Pg 25-psf Flat Roof Snow Load, Pf = 0.7 Ce Ct Is Pg 25-psf	Topographical Factor K-			1 00	Spectra	al Response Coeff., 1-Sec, S _{D1}	0.500
Snow Loads (ASCE 7-10, Chapter 7) Basic Seismic-Force-Resistance System Ply. Sheat Ground Snow Load, Pg 25-psf Seismic Response Coefficient, Cs Seismic Response Coefficient, Cs Flat Roof Snow Load, Pf = 0.7 Ce Ct Is Pg 25-psf Design Response Shear V 0.12 x V					Seismi	c Design Catagory	D
(ASCE 7-10, Chapter 7) Response Modification Factor, R Ground Snow Load, Pg 25-psf Flat Roof Snow Load, Pf = 0.7 Ce Ct Is Pg 25-psf Design Response Shoer V 0.12 x V	Snow Loads				Basic S	eismic-Force-Resistance System	Ply. Shear Walls
Ground Snow Load, Pg 25-psf Flat Roof Snow Load, Pf = 0.7 Ce Ct Is Pg 25-psf Design Researcher M 0.12 x M	(ASCE 7-10, Chapter 7)				Respor	nse Modification Factor, R	6.5
Flat Roof Snow Load, $P_f = 0.7 C_e C_t I_s P_q$ 25-psf Design Rese Sheer V	Ground Snow Load, P _g			25-psf	Seismi	c Response Coefficient, C _S	0.13
* Snow Exposure Factor, C _e 1.0 * Snow Load Importance Factor, I _s 1.0	Flat Roof Snow Load, P _f = 0.7 C _e C _t I _s * Snow Exposure Factor, C _e * Snow Load Importance Factor, I _s	, P _g	1.0 1.0	25-psf	Design	Base Shear, V	0.13 x Weight

See Drawings for Additional Loading Criteria.

1.3 Structural Drawings shall be used in conjunction with all other project documents for bidding and construction. Contractor shall verify dimensions and conditions for compatibility and shall notify architect of all discrepancies prior to construction.

1.4 Contractor shall provide Temporary Bracing for the structure and structural components until all final connections have been completed in accordance with the drawings.

1.5 Contractor shall be responsible for all safety precautions and the methods, techniques, sequences or procedures required to perform the work.

1.6 Contractor-initiated changes shall be submitted in writing to the Architect and Structural Engineer for approval prior to fabrication or construction. Changes shown on shop drawings only will not satisfy this requirement.

1.7 Drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Architect and the Structural Engineer.

1.8 All structural systems composed of components to be field erected shall be supervised by the Supplier during manufacturing, delivery, handling, storage and erection in accordance with instructions prepared by the Supplier.

GEOTECHNICAL:

2.1 Allowable Soil Pressure, Lateral Earth Pressure, and Soil Profile Type are assumed and therefore must be verified. If soils are found to be other than assumed, notify the Structural Engineer for possible foundation redesign. Footings shall bear on firm, undisturbed earth at least 18" below adjacent finished grade. Unless otherwise noted, footings shall be centered below columns or walls above. Backfill behind all retaining walls with free draining, granular fill and provide for subsurface drainage.

Geotechnical Properties	
Soil Site Class	D
Allowable Soil Bearing Pressure	1500-psf
Active Lateral Earth Pressure (Restrained)	60-pcf
Active Lateral Earth Pressure (Unrestrained)	35-pcf
Seismic Lateral Earth Pressure	6H-psf
Passive Lateral Earth Pressure	300-pcf
Base Friction Coefficient	0.35

CONCRETE:

3.1 Concrete shall be mixed, proportioned, conveyed and placed in accordance with IBC Chapter 19 and ACI 318-14. Mix shall be proportioned to produce a slump of 5" or less. All concrete with surfaces exposed to standing water shall be air-entrained with an air-content conforming to ACI 318-14 Table 4.2.1. Concrete Strength, based on IBC Section 1904.1, shall be as follows:

Type or Location of Concrete Construction Min. 28-Day Compressive Strength, f'c

(Mo	oderate Exposure)	
Inte	erior Slabs-on-Grade	2500-psi
Foo	otings, Basement Walls, Foundation/Stem Walls	3000-psi ¹
¹ Sp	pecified compressive strength (fc) specifications addre	ess serviceability requirements. Design

strength of concrete is 2500-psi, therefore, strength tests are not required. Provided concrete mix tickets verifying strength specifications.

3.2 Reinforcing Steel shall conform to ASTM A615-12 and the following:

Bar Size	Steel Grade
#5 bar and larger	Grade 60, fy = 60,000-psi
#4 bar and smaller	Grade 40, fy = 40,000-psi
Welded Wire Fabric shall conform to A	STM A1064-15

3.3 Reinforcing Steel shall be detailed (including hooks and bends) in accordance with ACI 318-14. Lap all continuous reinforcement (#5 and smaller) 40 bar diameters or 2'-0" minimum. Provide corner bars at all wall and footing intersections. Lap corner bars (#5 and smaller) 40 bar diameters or 2'-0" minimum. Laps of larger bars shall be made in accordance with ACI 318-14, Class B. Lap adjacent mats of welded wire fabric a minimum of 8" at sides and ends.

No bars partially embedded in hardened concrete shall be field bent unless otherwise noted on the drawings or approved by the structural engineer.

3.4 Concrete Protection (cover) for Reinforcing Steel shall be as follows:

Condition	Clear Cover
Footings and Unformed Surfaces cast against and permanently exposed to Earth	3"
Formed Surfaces exposed to Earth or Weather (#6 bars or larger)	2"
Formed Surfaces exposed to Earth or Weather (#5 bars or smaller)	1½"
Slabs and Walls, interior face (#11 bars and smaller)	3⁄4"
Column Ties or Spirals and Beam Stirrups	1½"

Nails sp

Nail Use Framing

Sheathing Nails

All Metal Fasteners exposed to weather or in contact with treated wood shall be protected from corrosion according to table above. Nuts and bolts exposed to weather or in contact with treated wood shall be galvanized in accordance with ASTM A 153 or Stainless Steel. See above for Proprietary Fastener requirements. Do not substitute standard Dowel-Type Fasteners for Proprietary Fasteners unless specifically allowed.

Posts Timbe Timbe Member Beams Camber a Membe

Framin

Beams Beams Beams

Rim B

6.4 Engineered Wood I-Joists shown on the drawings are based on joists manufactured by Weyerhaeuser in accordance with ICC Report No. ES ESR-1153. Alternate Engineered Wood I-Joists manufacturers may be used subject to review and approval by the Architect and Structural Engineer.

6.5 Prefabricated Connector Plate Wood Trusses shall be designed by the manufacturer in accordance with TPI 1-2007 for the spans and conditions shown on the drawings. Wood trusses shall utilize approved connector plates (MITEK, ITW or other approved Truss Plate Manufacturer).

<u>_</u>			
Framing Lumber sha	II be kiln dried or N red, furnish to the t	MC-19, and graded and r	marked in confe
Member Hee		Creater	Crede
wember Use	Size	Species	Grade
Studs	2x, 3x	Hem-Fir or SPF	STUD
Joists/Rafters	2x, 3x	Hem-Fir	No. 2
Plates/Misc.	2x, 3x	Hem-Fir	No. 2
Beams	4x	Douglas Fir-Larch	No. 2
Posts	4x	Douglas Fir-Larch	No. 2
Timber, Beams	6x & Larger	Douglas Fir-Larch	No. 2
Timber, Posts	6x & Larger	Douglas Fir-Larch	No. 2

6.2 Glued Laminated Members shall be fabricated in conformance with ASTM and AITC Standards. Each member shall bear an AITC Identification Mark and shall be accompanied by an AITC certificate of conformance. Furnish to the following minimum standards:

er Use	Combination	Species	F _{bx+}	F _{bx-}	F _{c⊥x}	F _{vx}	Ex
	24F-V4	DF/DF	2400-psi	1850-psi	650-psi	265-psi	1800-ksi
all glulam bea	ms to 3,500' radiu	us, unless ot	herwise noted	d. Glued lami	nated membe	ers exposed to	o weather or

moisture shall be treated with an approved preservative.

6.3 Engineered Wood shown on the drawings are based on product manufactured by Weyerhaeuser in accordance with ICC Report No. ES ESR-1387. Alternate manufacturers may be used subject to review and approval by the Architect and Structural Engineer. All hangers and other hardware not shown shall be designed and supplied by the Joist Manufacturer. Each piece shall bear a stamp or stamps noting the name and plant number of the manufacturer, the grade, the ICC report number, and the quality control agency. Furnish to the following minimum standards:

er Use	Product	F _b	F _c ⊥	Fv	E
	1.55E Laminated Strand Lumber (LSL)	2325-psi	800-psi	310-psi	1550-ksi
;	2.0E Laminated Veneer Lumber (LVL)	2600-psi	750-psi	285-psi	2000-ksi
;	2.0E Parallel Strand Lumber (PSL)	2900-psi	750-psi	290-psi	2000-ksi
pards	Laminated Strand Lumber (LSL)	1700-psi	680-psi	400-psi	1300-ksi

Unless otherwise noted, loading shall be as follows:

Roof Truss Design Loading		Floor Truss Design Loading		
Member	Uniform Load	Member	Uniform Loa	
Top Chord Snow Load	25-psf	Top Chord Live Load	40-psf	
Top Chord Wind Load (Uplift)	15-psf	Top Chord Dead Load	10-psf	
Top Chord Dead Load	7-psf	Bottom Chord Dead Load	5-psf	
Bottom Chord Live Load	10-psf			

Submit shop drawings and design calculations prior to fabrication. Submitted documents shall bear the stamp and signature of a registered Professional Engineer, State of Washington. Truss design drawings shall include, at a minimum, the following:

A. Slope or Depth, Span and Spacing B. Location of all Joints and Support Locations

Number of Plies if greater than one

D. Required Bearing Widths

Bottom Chord Dead Load

- E. Design Loads and Locations: Include Top and Bottom Chord Live and Dead Loads, Girder Loads, and Environmental Loads (Seismic, Wind, Snow, etc.) Other Lateral Loads, including Drag Strut Loads
- G. Adjustments to Wood and Metal Connector Plate Design Value for Conditions of Use

5-psf

H. Maximum Reaction Force and Direction (including Maximum Uplift) Metal-Connector-Plate Type, Size, Thickness, and Location

J. Size Species and Grade for each Member

K. Truss-to-Truss Connections and Truss Field Assembly Requirements

Calculated Span-to-Deflection Ratio and maximum Vertical and Horizontal Deflection for Live and Total Loads M. Maximum Axial Tension and Compression Forces in each Truss Member

6.9 Dowel-Type Fasteners (Bolts, Lag Screws, Wood Screws and Nails) shall conform to Sections 11 and 12 of the ANSI/AWC NDS-2015.

N. Required Permanent Individual Truss Member Restraint Location and the Method and Details of Restraint Bracing to be used

O. Placement Layout including Bearing Points, Intersections, Hips, Valleys, etc. P. Truss-to-Truss and Truss-to-Beam Connection Details and Hardware

8d Common 0.131"Ø x $2\frac{1}{2}"$

6.6 Roof, Floor & Wall Sheathing shall be APA Rated, Exterior or Exposure 1 Plywood or OSB manufactured under the provisions of Voluntary Product Standards DOC PS-1 or DOC PS-2, or APA PRP-108 Performance Standards and Policies for Structural Use Panels. See Drawings for thickness, span rating, and nailing requirements. Unless otherwise noted, wall sheathing shall be 1/2" (nominal) with Span Rating of 24/0. Glue floor sheathing to all supporting members with adhesive conforming to APA Specification AFG-01.

6.7 Wood members shall be protected against decay and termites in accordance with IBC Section 2304.12. Where required, members shall be naturally durable species or shall be treated with waterborne preservatives wood in accordance with American Wood Protection Association specification AWPA U1. Members shall be clearly labeled. Modifed treated members (ripped or end cut) shall be field treated in accordance with specification AWPA M4.

6.8 Timber Connectors and Proprietary Fasteners shall be "Strong-Tie" by Simpson Company, as specified in their current catalog. Provide number and size of fasteners as specified by manufacturer. Connectors shall be installed in accordance with the manufacturer's instructions. Where connector straps connect two members, center strap on joint and provide number and size of fasteners as specified by manufacturer, with equal number and size of fasteners in each member.

Alternate hardware manufacturer substitutions, such as USP Connectors, shall be ICC approval for equal or greater load capacities. All joist hangers and other hardware shall be compatible in size with specified framing members. See Hanger Conversion Table for pre-approved substitutions.

Timber Connectors and their fasteners shall be protected from corrosion in accordance with manufacturer's recommendations or ASTM A 653, Type G185.

		1	1
Dowel Type Fastener	Grade	Requirements at Exterior Use or when in Contact w/ Treated Lumber	Installation
Bolts	ASTM A307	ASTM B 695, Class 55 Galvanized or Stainless Steel	ANSI/AWC NDS-2015 Section 12.1.3 Hole = Bolt \emptyset + (1/32" to 1/16") Washer @ Bolt Head and @ Nut
All-Thread/Threaded Rod	ASTM F1554	ASTM B 695, Class 55 Galvanized or Stainless Steel	ANSI/AWC NDS-2015 Section 12.1.3 Hole = Rod \emptyset + (1/32" to 1/16") Washer @ Each Nut
Lag Screws	ASTM A307	ASTM A 153 Galvanized or Stainless Steel	ANSI/AWC NDS-2015 Section 12.1.4 Lead Hole = 0.5 x Shank Ø; Shank Hole = Shank Ø Washer @ Lag Head
Wood Screws		ASTM A 153 Galvanized or Stainless Steel	ANSI/AWC NDS-2015 Section 12.1.5 Pilot Hole = 0.75 x Root Ø (Unless Self-Boring)
Nails	ASTM F1667	ASTM A 153 Galvanized or Stainless Steel	ANSI/AWC NDS-2015 Section 12.1.6 Avoid Overdriving or Underdriving; Avoid Wood Splitting Toenails 30°, 1/3 Nail Length from Joint
Nails specified on the drawin	ngs shall be as follo	ows:	
Nail Use	Penny Weight	Grade	
Framing Nails	12d Box	0.131"Ø x 3¼"	

WOOD (Continued): 6.10 Wood Framing Notes: The following apply unless otherwise noted on the drawings:

- 2304.10.1 or ICC ES ESR-1539. Coordinate the size and location of all openings with Mechanical and Architectural Drawings. each side of all openings, and at the ends of all beams and headers. All stud bearing walls on wood framing shall have their lower wood plates attached to framing or concrete below per P1-6 of the shear wall schedule.
- A. All wood framing details shall be constructed to the minimum standards of the IBC. Nailing not specified on the drawings shall conform to IBC Table B. Wall Framing: Stud wall size and spacing shall be in accordance with the plan notes. Two studs minimum shall be provided at the ends of all walls, at
- C. Individual members of Built-Up stud posts shall be nailed to each other with framing nails @ 12"oc, staggered. Individual members of Built-Up joist
- beams shall be nailed to each other with framing nails @ 12"oc, staggered. D. Solid blocking for wood columns shall be provided through floors to supports below. E. Floor and Roof Framing: Provide solid blocking at all bearing points. Toenail joists to supports with two framing nails. Attach timber joists to flush
- headers or beams with metal joist hangers in accordance with notes above. F. Roof and floor sheathing shall be laid up with grain perpendicular to supports and nailed per plan notes. Allow 1/8" spacing at all panel edges and ends of floor and roof sheathing. Provide approved panel edge clips centered between joists/trusses at unblocked roof sheathing edges. All floor sheathing edges shall have approved tongue-and-groove joints. Toenail blocking to supports with framing nails @ 12"oc. At blocked floor and roof diaphragms, provide flat 2x blocking at all unframed panel edges and nail with edge nailing specified.

QUALITY ASSURANCE:

7.1 Standard inspections shall be in accordance with IBC Section 110. Special Inspection is not required.

7.2 Structural Observation is not required.

FO	UNDATION PLAN NOTES:
1.	Slab-on-Grade shall be 4" thick with 6x6 W1.4xW1.4
	Architectural Drawings for Slab Elevation, Depression

- 2. Bottom of Footings shall be set on competent, properly compacted Bearing Soil below Frost Depth.
- WALL FRAMING PLAN NOTES:

 4.
 Exterior Walls shall be Shear Wall type P1-6 with 2x6 Studs @ 16"oc, u.o.n.
 Interior Walls shall be 2x4 Studs @ 16"oc, u.o.n.
- 5. Headers shall be 4x10, u.o.n. See Detail 19/S3.1.
- FLOOR FRAMING PLAN NOTES

	5
Framing, Edges	6"oc
Framing, Field	10"oc
Boundaries, Blocking, Struts	6"oc

See Drawings for other Sheathing Nailing requirements.

8. Joists shall be as indicated on plan.

ROOF FRAMING PLAN NOTES

Roof Sheathing shall be $\%$ " thick (Panel Spa	n Rating 3
Framing, Edges	6"oc
Framing, Field	12"oc
Boundaries, Blocking, Struts	6"oc
At Unframed Panel Edges, provide PSCA Fr	aming Clip

10. Roof Framing shall be as indicated on plan.

- 12. Provide solid Flat Blocking at all Valleys. Fasten Sheathing to Blocking in accordance with Note 1

Hanger Conversion Table				
TYPE	SIMPSON STRONG-TIE PRODUCT #	USP CONNECTORS PRODUCT #		
	HDUx-SDS2.5	PHDxA		
	STHD14/STHD14RJ	STAD14/STAD14RJ		
HOLDOWNS	DTT1Z	LTS19-TZ w/ 1"x1"x¼" PLATE WASHER (TO ACCOMMODATE %" LAG SCREW)		
	MST48	KST248		
	ST2215	KST216		
STDADS	ST6224	KST224		
STRAPS	CS16	RS150		
	MASA / MASAP	FA4		
	CMSTC16	CMSTC16		
	LGT2	LUGT2		
	LTP4	MP4F		
	LTP5	MP6F		
	A34	MP34		
ANGLES/TIES	A35	MPA1		
	H1	RT15		
	H2.5	RT7		
	H2.5A	RT7A		
	LPCxZ	PBxx-6TZ		
	LCE4	PBES74		
	EPCxx	EPCMxx		
PUSTCAPS	CCQxxSDS5.5	KCCQxx		
	ECCQxxSDS5.5	KECCQxx		
	ACx	PBSxx		
	PBxx	WExx		
POST BASES	ABUxx	PAUxx		
	ABAxx	PAxxE		
	HTS30C	HTW30C		
DRAG STRUTS	HTS30	HTW30		
	DSC5	DSC4		
	LUSxx	JUSxx		
	IUSxx	THFxx		
	ITTxx	THOxx		
HANGERS	HUxx / HUCxx	HDxx / HDxxIF		
	MIUxx	THFxx		
	HUSxx	HUSxx		

WWM at center, u.o.n. Slab shall be poured over 10mil Vapor Barrier placed over Free-Draining Granular Fill. See , and Slope requirements.

3. Anchor Bolts for Exterior Stud Walls shall be in accordance with P1-6 of the Shear Wall Schedule of 1/S3.1, u.o.n.

Where adjacent Shear Walls are in contact, nail studs together per 13/S3.1. See 1/S3.1 for special stud requirements at Shear Wall types P1-3 and P1-2.

6. Built-up Stud Groups in Walls supporting Beams, Posts or Girder Trusses above shall be (2) Studs, u.o.n. See General Structural Notes for fastening requirements.

Floor Sheathing shall be ³/⁴" thick T&G (Panel Span Rating 48/24). Glue Sheathing to all Framing Members and Blocking below with adhesive conforming to A.P.A.Specification AFG-01. Fasten Sheathing to Framing with WSNTL2LS Subfloor Screws (#8 x 2") or 0.131"Ø x 2½" Nails as follows:

32/16) [or $\frac{7}{16}$ " thick (Panel Span Rating 24/16)]. Fasten Sheathing to Framing with 0.131"Ø x 2½" Nails as follows:

ips centered between each Framing Member. See Drawings for other Sheathing Nailing requirements.

11. Overframing Members shall be 2x4 @ 24"oc. Post down to Framing Members below w/ 2x4 @ 48"oc, staggered.





PROJECT NAME MUNSON RESIDENCE

4628 Forest Avenue SE Mercer Island, WA 98040

DATE OF ISSUE: 4/10/2019

REVISIONS

PERMIT 4/10/2019 PLAN REVIEW

8/12/2019



DRAWING TITLE S STRUCTURAL NOTES



I. SEE SHEET SI.I FOR STRUCTURAL PLAN NOTES.

XX FOOTING PER 3/53.2

PI-X INDICATES SHEAR WALL BELOW PER 1/53.1

PT LOAD - SOLID BLOCKING THRU FLOOR, MATCH POST SIZE ABOVE COPYRIGHT © 2018 Cleary design studio, llc All rights reserved

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project name: MUNSON RESIDENCE

4628 Forest Avenue SE

Mercer Island, WA 98040 DATE OF ISSUE: 4-16-19

REVISIONS:

\triangle	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
$\int \!$	8-13-19, PERMIT REVIEW RESPONSES
\triangle	8-22-19, V.E., ADD KID BATH2

SCALE: 1/4" = 1'-0"

drawing title S2.1 BASEMENT



I. SEE SHEET SI.I FOR STRUCTURAL PLAN NOTES.

PI-X INDICATES SHEAR WALL BELOW PER 1/53.1

PT LOAD - SOLID BLOCKING THRU FLOOR, MATCH POST SIZE ABOVE

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4	8-22-19, V.E., ADD KID BATH2

FIRST FLOOR FRAMING PLAN

DRAWING TITLE S2.2 I ST FLR

I. SEE SHEET SI.I FOR STRUCTURAL PLAN NOTES.

PI-X INDICATES SHEAR WALL BELOW PER 1/S3.1

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	8-13-19, PERMIT REVIEW RESPONSES
4	8-22-19, V.E., ADD KID BATH2

SECOND FLR FRAMING PLAN/ FIRST FLR ROOF FRAMING SCALE: 1/4" = 1'-0"

DRAWING TITLE S2.3 2ND FLR / I ST ROOF

1. SEE SHEET ST.T FOR STRUCTURAL PLAN NOTES.

PI-X INDICATES SHEAR WALL BELOW PER 1/S3.1

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REVISIONS:

DRAWING TITLE

2ND FLR

52.4

ROOF

	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
<u>}</u>	8-13-19, PERMIT REVIEW RESPONSES
A	8-22-19, V.E., ADD KID BATH2

SECOND FLR ROOF FRAMING

	SHEAR WALL SCHEDULE (IN ACCORDANCE W/ ANSI/AF&PA SDPWS-2015 SECTION 4.3)										
WALL	WALL SHEATHING EDGE		PANEL EDGE NAILING		MUDSILL PI ATF	FACE NAILING	FRAMING CLIPS	ANCHORAGE TO CONCRETE		SEISMIC CAPACITY -	WIND CAPACITY -
			SINGLE MEMBER	BUILT-UP MEMBER				ANCHOR BOLTS	MUDSILL ANCHORS	h/b = 2 h/b = 3.5	h/b = 2 h/b = 3.5
P1-6	1 SIDE	6" ос	2x	2x	2x	6" oc	A35 @ 30" oc or LTP5 @ 26" oc	5⁄8"Ø @ 48" oc	MASAP @ 48" oc	240-plf 194-plf	240-plf 194-plf
P1-4	1 SIDE	4" oc	2x	2x	2x	4" oc	A35 @ 20" oc or LTP5 @ 18" oc	5∕8"Ø @ 40" oc	MASAP @ 36" oc	350-plf 284-plf	490-plf 398-plf

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DRAWING TITLE 53. LATERAL DETAILS

PROJECT NAME MUNSON RESIDENCE

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PLAN REVIEW	8/12/2019

drawing title 53.2 FRAMING DETAILS

PLAN NOTES

I. CONTRACTOR OR BIDDER DESIGN ELECTRICAL TO VERIFY EXISTING ELECTRICAL PANEL SIZE CAN HANDLE ALL NEW ELECTRICAL REQUIREMENTS. OTHERWISE LARGER PANEL IS REQUIRED.

2. BIDDER DESIGN ELECTRICAL IS RESPONSIBLE FOR CODE COMPLIANCE OF ALL ELECTRICAL OUTLETS AND FIXTURES. THOSE INDICATED ON THIS DWG REPRESENT EITHER THE MINIMUM ACCEPTABLE OR A REQUIREMENT OF THE OWNER.

3. SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 & IRC R3 I 3. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC3 I 3. I SMOKE ALARMS SHALL BE INSTALLED ON EACH FLOOR INCLUDING HABITABLE ATTICS AND BASEMENTS. THEY SHALL ALSO BE LOCATED IN EVERY SLEEPING ROOM. THEY SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. IRC R3 I 4.3

4. CARBON MONOXIDE ALARMS IN NEW CONSTRUCTION, APPROVED CARBON MONOXIDE ALARMS ARE REQ'D OUTSIDE OF EACH SLEEPING AREA WHEN THERE ARE FUEL FIRED APPLIANCES WITHIN THE DWELLING. IN ADDITIONS AND OR ALTERATIONS REQUIRING A PERMIT, CARBON MONOXIDE ALARMS ARE ALSO REQ'D IN THE SAME LOCATIONS. IRC R3 I 5

5. PLEASE SEE PLANS AND ELEVATIONS FOR FURTHER INFO REGARDING PLACEMENT OF ELECTRICAL ITEMS.

6. ALL BULBS TO BE LED 2700K OR SIM, U.N.O.

ELECTRICAL SYMBOLS

G.F.I.	ŧ	GROUND FAULT INTERUPTER
WP	₽	WATER-PROOF OUTLET
	ŧ	DUPLEX
240	ŧ	240V
	÷	SOFFIT OR FLOOR OUTLET
	0	PENDANT
	Φ	WALL SCONCE
	Φ	CHANDELIER
	Ø	CEILING MOUNT FLUSH
		STEP LIGHTS
	₿	PUCK LIGHT
	₿	4" DIA. RECESSED LED CAN WHITE INTERIOR
		CEILING FAN W/ LIGHT
	Ð	RECESSED SPOTLIGHT
	V.T.O.S.	VENT TO OUTSIDE
	S.D.	SMOKE ¢ CARBON DETECTOR
	\triangle	ETHERNET
ΤV		CABLE TV
	\$	SWITCH
	\$_3	3-WAY SWITCH
	\$_4	4-WAY SWITCH
	\$_	DIMMER SWITCH
	ullet	DOOR BELL
	С	CHIME
	Τ	THERMOSTAT

UNDER CAB LED STRIPS

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 8-13-19, PERMIT REVIEW RESPONSE

 8-22-19, V.E., ADD KID BATH2

< N BASEMENT FLOOR PLAN

PLAN NOTES

I. CONTRACTOR OR BIDDER DESIGN ELECTRICAL TO VERIFY EXISTING ELECTRICAL PANEL SIZE CAN HANDLE ALL NEW ELECTRICAL REQUIREMENTS. OTHERWISE LARGER PANEL IS REQUIRED.

2. BIDDER DESIGN ELECTRICAL IS RESPONSIBLE FOR CODE COMPLIANCE OF ALL ELECTRICAL OUTLETS AND FIXTURES. THOSE INDICATED ON THIS DWG REPRESENT EITHER THE MINIMUM ACCEPTABLE OR A REQUIREMENT OF THE OWNER.

3. SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 & IRC R3 I 3. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC3 I 3. I SMOKE ALARMS SHALL BE INSTALLED ON EACH FLOOR INCLUDING HABITABLE ATTICS AND BASEMENTS. THEY SHALL ALSO BE LOCATED IN EVERY SLEEPING ROOM. THEY SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. IRC R3 I 4.3

4. CARBON MONOXIDE ALARMS IN NEW CONSTRUCTION, APPROVED CARBON MONOXIDE ALARMS ARE REQ'D OUTSIDE OF EACH SLEEPING AREA WHEN THERE ARE FUEL FIRED APPLIANCES WITHIN THE DWELLING. IN ADDITIONS AND OR ALTERATIONS REQUIRING A PERMIT, CARBON MONOXIDE ALARMS ARE ALSO REQ'D IN THE SAME LOCATIONS. IRC R3 I 5

5. PLEASE SEE PLANS AND ELEVATIONS FOR FURTHER INFO REGARDING PLACEMENT OF ELECTRICAL ITEMS.

6. ALL BULBS TO BE LED 2700K OR SIM, U.N.O.

ELECTRICAL SYMBOLS

G.F.I.	ŧ	GROUND FAULT INTERUPTER
WP	₽	WATER-PROOF OUTLET
	æ	DUPLEX
240	₽	240V
	⇒	SOFFIT OR FLOOR OUTLET
	0	PENDANT
	Φ	WALL SCONCE
	Φ	CHANDELIER
	Ø	CEILING MOUNT FLUSH
		STEP LIGHTS
	₿	PUCK LIGHT
	₿	4" DIA. RECESSED LED CAN WHITE INTERIOR
		CEILING FAN W/ LIGHT
	Ð	RECESSED SPOTLIGHT
v	.T.O.S.	VENT TO OUTSIDE
	s.D.	SMOKE ¢ CARBON DETECTOR
	\triangle	ETHERNET
ΤV		CABLE TV
	\$	SWITCH
	\$ ₃	3-WAY SWITCH
	\$_4	4-WAY SWITCH
	\$_	DIMMER SWITCH
	ullet	DOOR BELL
	С	CHIME
	Τ	THERMOSTAT

UNDER CAB LED STRIPS OR CROWN LED STRIPS

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project name: MUNSON RESIDENCE

4628 Forest Avenue SE

Mercer Island, WA 98040

DATE OF ISSUE: 4–16–19

REVISIONS:

\triangle	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
•	

8-13-19, PERMIT REVIEW RESPONSES

FIRST FLOOR PLAN

PLAN NOTES

I. CONTRACTOR OR BIDDER DESIGN ELECTRICAL TO VERIFY EXISTING ELECTRICAL PANEL SIZE CAN HANDLE ALL NEW ELECTRICAL REQUIREMENTS. OTHERWISE LARGER PANEL IS REQUIRED.

2. BIDDER DESIGN ELECTRICAL IS RESPONSIBLE FOR CODE COMPLIANCE OF ALL ELECTRICAL OUTLETS AND FIXTURES. THOSE INDICATED ON THIS DWG REPRESENT EITHER THE MINIMUM ACCEPTABLE OR A REQUIREMENT OF THE OWNER.

3. SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 \$ IRC R313. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC3 | 3.1 SMOKE ALARMS SHALL BE INSTALLED ON EACH FLOOR INCLUDING HABITABLE ATTICS AND BASEMENTS. THEY SHALL ALSO BE LOCATED IN EVERY SLEEPING ROOM. THEY SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. IRC R314.3

4. CARBON MONOXIDE ALARMS IN NEW CONSTRUCTION, APPROVED CARBON MONOXIDE ALARMS ARE REQ'D OUTSIDE OF EACH SLEEPING AREA WHEN THERE ARE FUEL FIRED APPLIANCES WITHIN THE DWELLING. IN ADDITIONS AND OR ALTERATIONS REQUIRING A PERMIT, CARBON MONOXIDE ALARMS ARE ALSO REQ'D IN THE SAME LOCATIONS. IRC R3 | 5

5. PLEASE SEE PLANS AND INTERIOR ELEVATIONS FOR FURTHER INFO REGARDING PLACEMENT OF ELECTRICAL ITEMS.

6. WIRE EVERY FLOOR WITH ETHERNET.

ELECTRICAL SYMBOLS

G.F.I. ⊖	GROUND FAULT INTERUPTER
WP 🗲	WATER-PROOF OUTLET
¢	DUPLEX

- 240 😝 240V
- ← SOFFIT OR FLOOR OUTLET
- O PENDANT
- ↔ WALL SCONCE
- ← CHANDELIER
- CEILING MOUNT FLUSH
- DECK STEP LIGHTS
- B PUCK LIGHT
- 4" DIA. RECESSED CAN WHITE INTERIOR, LED COLOR TBD BY CLIENT, ₽ ELECTRICIAN TO SHOW CLIENT SAMPLES
- CEILING FAN W/ LIGHT
- $\overline{\mathbf{r}}$ RECESSED SPOTLIGHT
- VENT TO OUTSIDE
- S.D. SMOKE & CARBON DETECTOR
- \triangle ETHERNET
- TV 🛦 CABLE TV
- \$ SWITCH
- \$₃ 3-WAY SWITCH
- \$_ 4-WAY SWITCH
- \$ DIMMER SWITCH
- DOOR BELL
- C CHIME
- T THERMOSTAT

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\bigwedge	4-18-19, GARAGE DOOR REVISION
2	6-28-19, SPECS & PRICING
$\int_{\overline{\mathcal{S}}}$	8-13-19, PERMIT REVIEW RESPONSES
4	8-22-19, V.E., ADD KID BATH2

SECOND FLOOR PLAN