

MUNSON RESIDENCE

PROJECT DESCRIPTION:

REMOVE ROTTING EXTERIOR EXPOSED ENTRY AND FRONT DECK. ADD ENCLOSED ENTRY AND NEW DECKS. REMODEL KITCHEN AND BATHROOMS.

LEGAL DESCRIPTION:

WLY 22& FT OF POR OF S 5 AC OF N 11 AC OF GL 5 LY ELY OF FOREST AVE SE LESS NLY 93.22 FT OF WLY 167 FT LESS POR ELY & SELY OF LN BEG NW COR LOT 19 PLAT OF LAKE ISLE TH N 00-05-56 W 3.88 FT TH N 14-49-53 W 184.32 FT TO S LN OF N 6 AC TH E ALG SD 5 LN 167 FT TO BEG OF LN TH S 14-49-53 E TO PT 20 FT N OF N LN PLAT OF LAKE ISLE TH SWLY TO NE COR LOT 19 SD ADD & TERMINUS OF LN.

LAND USE DATA:

SITE ADDRESS 4628 FOREST AVE SE, MERCER ISLAND, WA 98040
 TAX PARCEL NO. 132404-9031
 ZONE R-15
 JURISDICTION: CITY OF MERCER ISLAND

IMPERVIOUS SURFACE:

LOT AREA = 14,355 SF (PER ASSESSOR'S INFO)
 IMPERVIOUS SURFACES (BEFORE REMODEL/ADDITION):
 ROOFS = 2,727 SF
 IMPERVIOUS DECKS (w/ PLASTIC) OR PATIO = 853 SF
 PATIO (OUTSIDE OF ROOF & IMPERVIOUS DECKS) = 0 SF
 DRIVEWAY (OUTSIDE OF ROOFS) = 1,029 SF
 TOTAL IMPERVIOUS SURFACES (BEFORE REMODEL/ADDITION) = 4,609.00 SF

IMPERVIOUS SURFACES (AFTER REMODEL/ADDITION):
 ROOFS = 3,507 SF
 IMPERVIOUS DECKS (w/ PLASTIC) OR PATIO = 342 SF
 PATIO (OUTSIDE OF ROOF & IMPERVIOUS DECKS) = 0 SF
 DRIVEWAY (OUTSIDE OF ROOFS) = 1,006 SF
 TOTAL IMPERVIOUS SURFACES (AFTER REMODEL/ADDITION) = 4,855.00 SF

TOTAL NEW IMPERVIOUS SURFACES = 246 SF

LOT COVERAGE:

AVERAGE SLOPE = 19.7% SLOPE
 LOT AREA = 14,355 SF (PER ASSESSOR'S INFO)
 MAX LOT COVERAGE ALLOWED = 35% = 5024.25 SF

EXISTING COVERAGE:
 ROOFS = 2,920 SF
 DRIVEWAY (OUTSIDE OF ROOFS) = 1,029 SF
 TOTAL EXISTING COVERAGE = 3,949.00 SF

COVERAGE REMOVED:
 ROOFS (PLASTIC ROOF / BASEMENT PATIO & BELOW FIRST FLR DECK) = 302 SF
 DRIVEWAY = 23 SF

COVERAGE ADDED:
 ROOFS (FOYER) = 391 SF

NEW COVERAGE:
 ROOFS = 3,009 SF
 DRIVEWAY (OUTSIDE OF ROOFS) = 1,006 SF
 TOTAL NEW COVERAGE = 4,015.00 SF

NEW COVERAGE - EXISTING COVERAGE = 66 SF
 LOT COVERAGE = 28.0%

GROSS FLOOR AREA:

MAXIMUM GFA = 40% = 5742.00 SF
 LOT AREA = 14,355.00 SF (PER ASSESSOR'S INFO)
 FLOOR AREA:

	EXISTING	REMOVED	NEW	TOTAL
2ND FLR	405.9	0	0	405.9
1ST FLR	2238.0	0	162.5	2400.5
(NET) BASEMENT	991.8	0	214.0	1205.8
GARAGE	503.0	0	0	503.0
TOTAL	4138.7	0	376.5	4515.2

MAXIMUM HEIGHT:

MAXIMUM ALLOWED = 30'-0" DOWNHILL/ 30'-0" FROM AVE GRADE
 NOT INCREASING (E) HEIGHT

HARDSCAPES:

MAXIMUM HARDSCAPES = 9% = 1,291.95 SF
 LOT AREA = 14,355.00 SF (PER ASSESSOR'S INFO)
 TOTAL HARDSCAPES (OUTSIDE OF ROOF STRUCTURES) = 734.00 SF = 5.1%
 DECKS = 734.00

ENERGY CODE:

ADDITION IS LESS THAN 500 SF,
 0.5 ENERGY CREDITS TO BE ACHIEVED AS FOLLOWS:

1A: U-VALUE = 0.28 OR BETTER, R-10 RIGID UNDER ENTIRE SLAB

TREES:

16" LL TOTAL DIA OF (E) ON-SITE TREES = 83" TOTAL
 16" LL WE CAN REMOVE UP TO 30% OF 83" = 24.9"
 10" M
 28" F
 14" M

WE ARE APPLYING TO REMOVE (1) 14" MAPLE, AND
 WILL REPLACE WITH (6) TREES, LOCATED AT
 NE CORNER OF PROPERTY, OF EITHER:
 - CONIFEROUS TREE OF AT LEAST 6' TALL
 - DECIDUOUS TREE OF AT LEAST 1.5" IN CALIPER

PROTECT REMAINING TREES BY INSTALLING TREE PROTECTION FENCING OUTSIDE THE ENTIRE TREE CANOPIES, IF POSSIBLE OTHERWISE AIM FOR 10' FROM TRUNK. NO SOIL DISTURBANCE OR ACTIVITY (INCLUDING STORAGE) IS ALLOWED WITHIN THIS AREA. PROTECTION FENCING CAN BE CHAIN LINK, WIRE MESH OR SIMILAR RIGID MATERIAL BUT NO PLYWOOD. IF ROOTS GREATER THAN 2" STICK OUTSIDE OF FENCING, HAND DIG, CUT CLEANLY, KEEP COVERED AND MOIST. USE 3" MIN LAYER OF WOOD CHIP MULCH OUTSIDE FENCED AREA TO PROTECT FEEDER ROOTS.

ABBREVIATIONS:

CL = CENTERLINE
 W.R.C. = WESTERN RED CEDAR
 P.T. = PRESSURE TREATED
 OJ = OVER
 F.O.B. = FACE OF BEAM
 VTOS = VENT TO OUTSIDE
 (E) = EXISTING
 EQ = EQUAL

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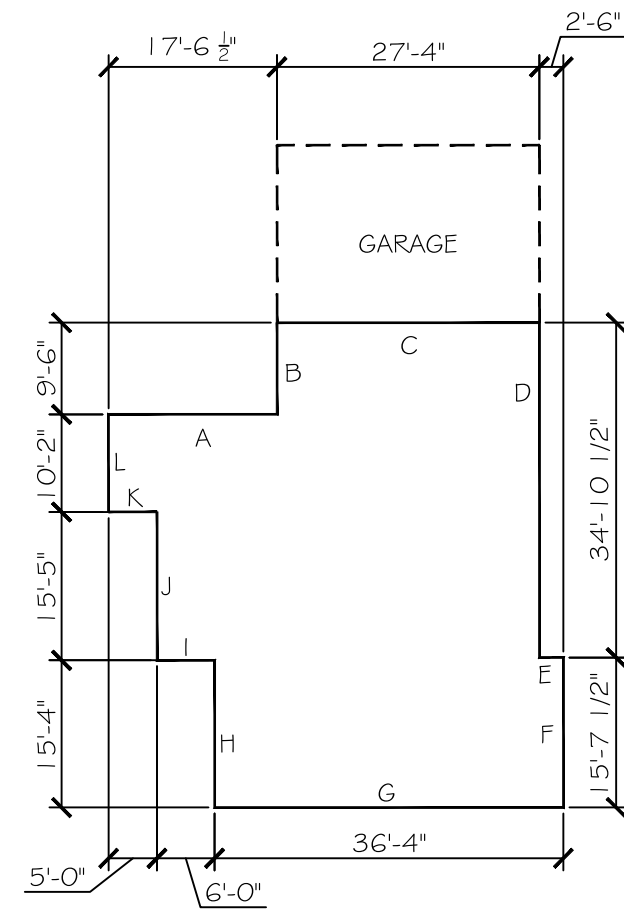
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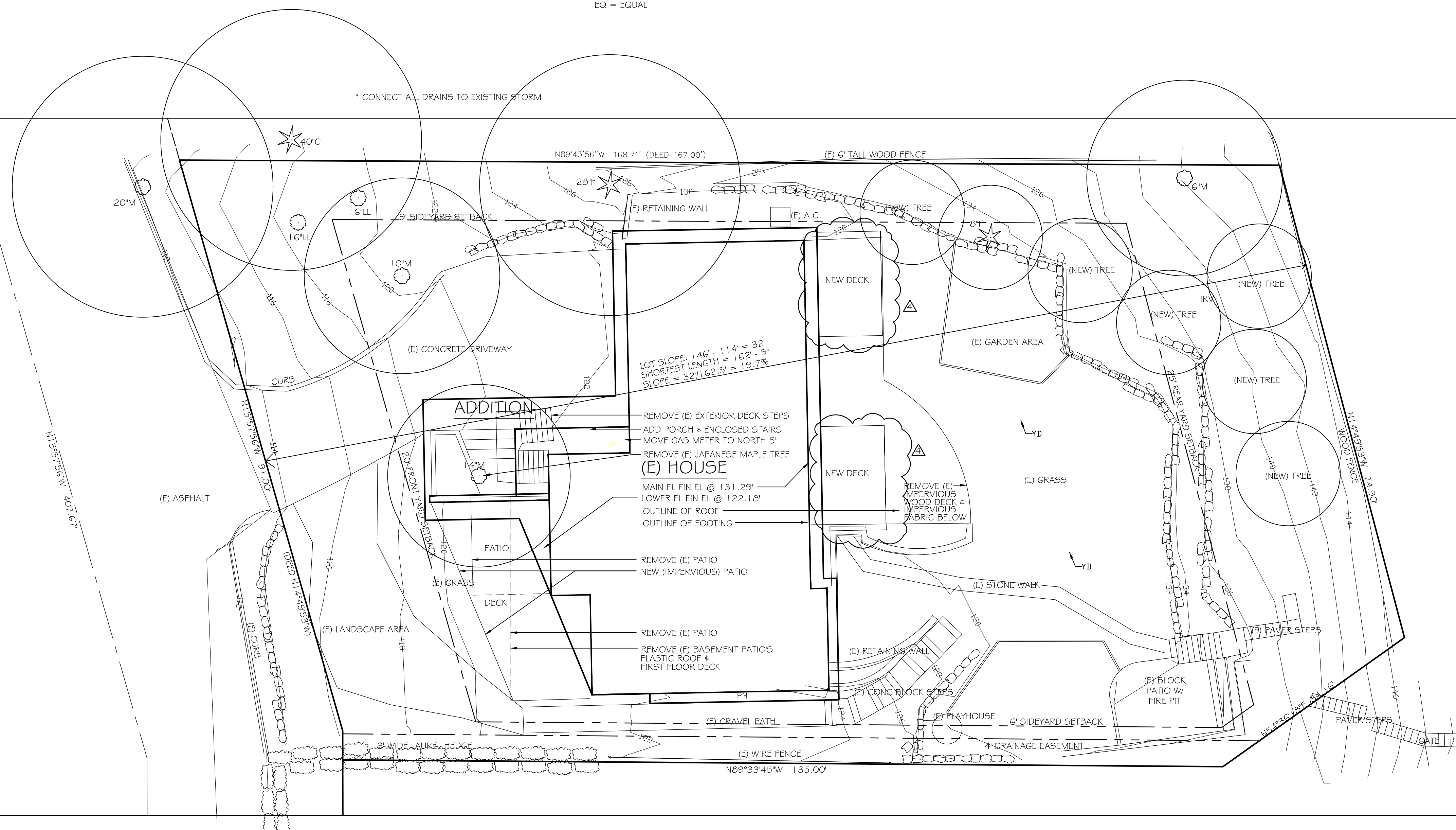
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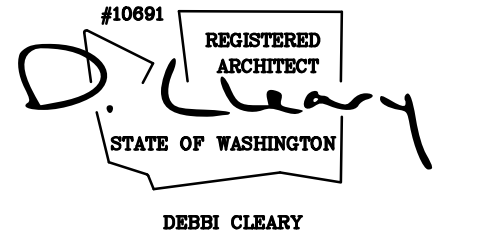


WALL SEGMENT	LENGTH	COVERAGE	RESULT
A	17.5	0%	17.5
B	9.5	0%	9.5
C	27.3	100%	0.0
D	34.8	100%	0.0
E	2.5	100%	0.0
F	15.7	100%	0.0
G	36.3	0%	36.3
H	15.3	0%	15.3
I	6.0	0%	6.0
J	15.4	0%	15.4
K	5.0	0%	5.0
L	10.1	0%	10.1
TOTALS	195.4		115.1

115.1/195.4 = 58.9%
 58.9% OF BASEMENT COUNTS TOWARD GFA:
 GROSS BASEMENT AREA = 1,683.8
 1,683.8 X 0.589 = 991.75
 NET BASEMENT AREA = 991.75



↑
 N
 SITE PLAN
 SCALE: 1" = 10'-0"



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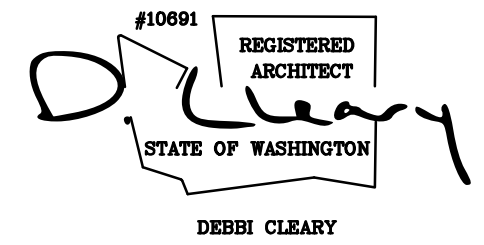
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 4-16-19

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- 4-18-19, GARAGE DOOR REVISION
 - 6-28-19, SPECS & PRICING
 - 8-13-19, PERMIT REVIEW RESPONSES
 - 8-22-19, V.E., ADD KID BATH2

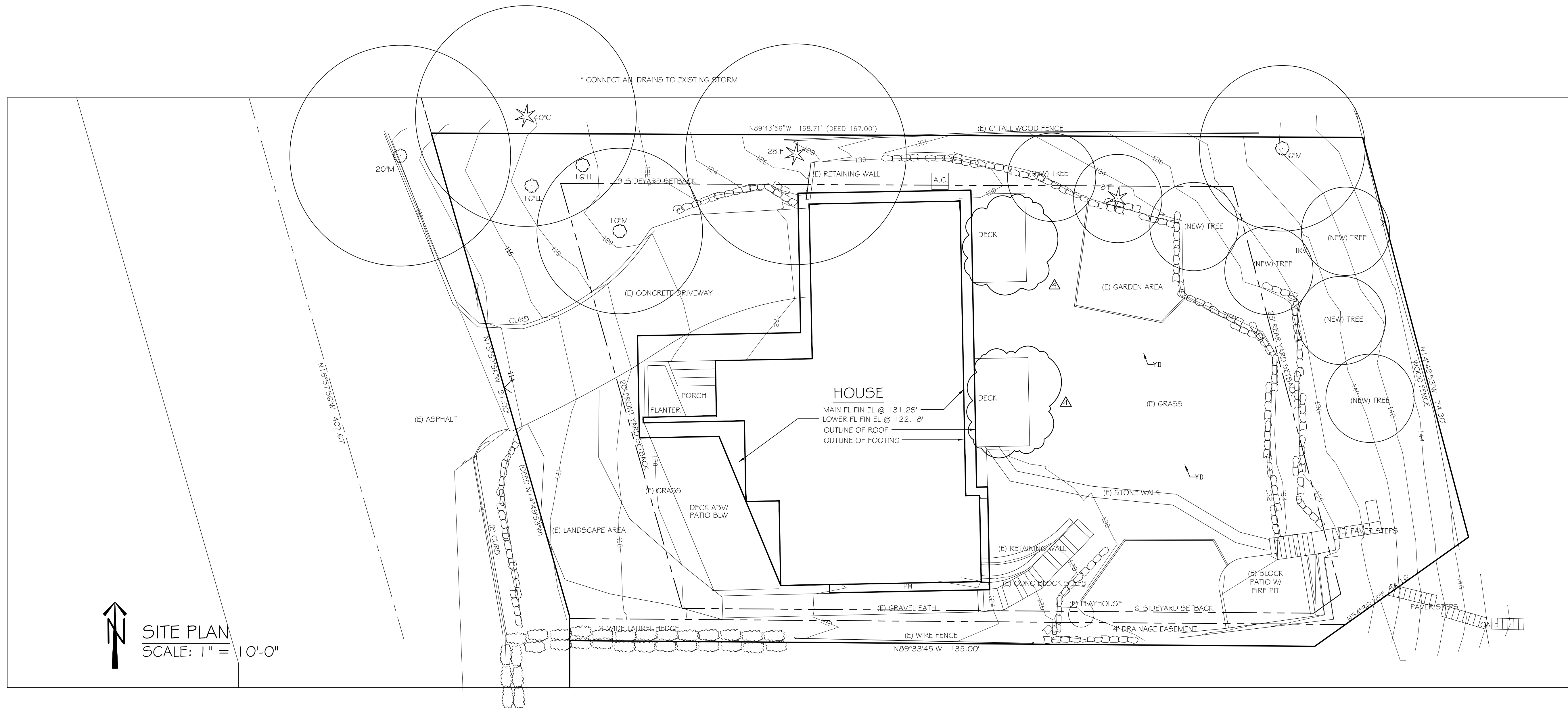
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 A1.1
 SITE PLAN

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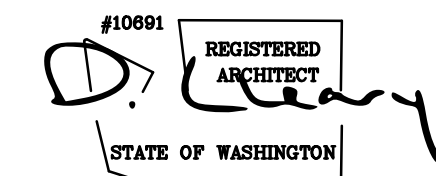
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 A1.3
 SIMPLE
 SITE PLAN



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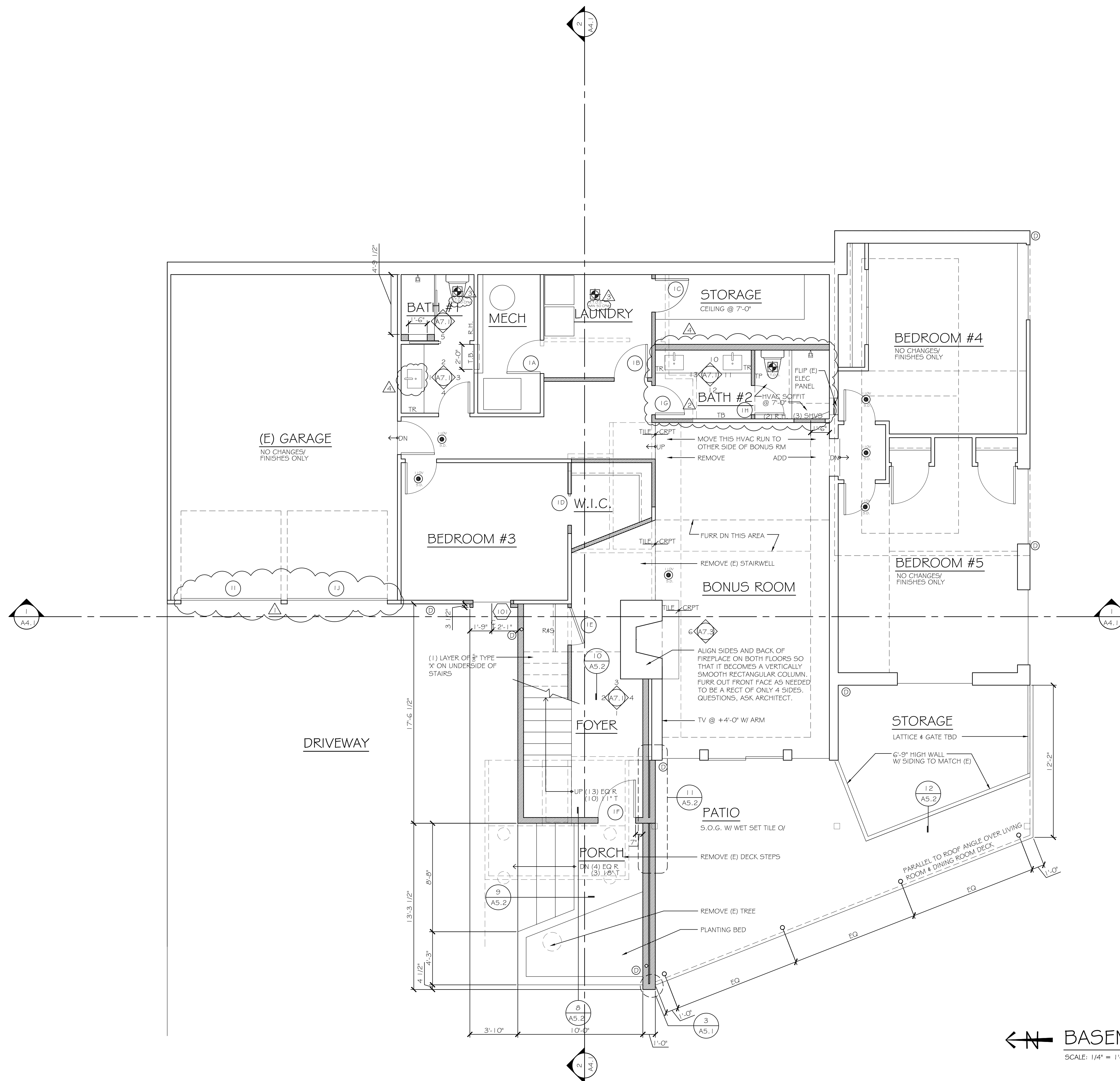
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A2.1
BASEMENT
FLOOR PLAN

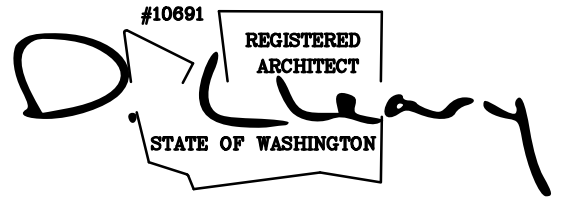
KEY

- REMOVE
- EXISTING WALL
- NEW WALL

- ⊕ VENT TO OUTSIDE
- ⊙ SMOKE DETECTOR/
CARBON MONOXIDE ALARM
- ⊗ WINDOW CALL OUT
REFER TO SCHEDULE, SHEET A6.1
- ⊗ DOOR CALL OUT
REFER TO SCHEDULE, SHEET A6.1
- ⊙ DOWNSPOUT



← N BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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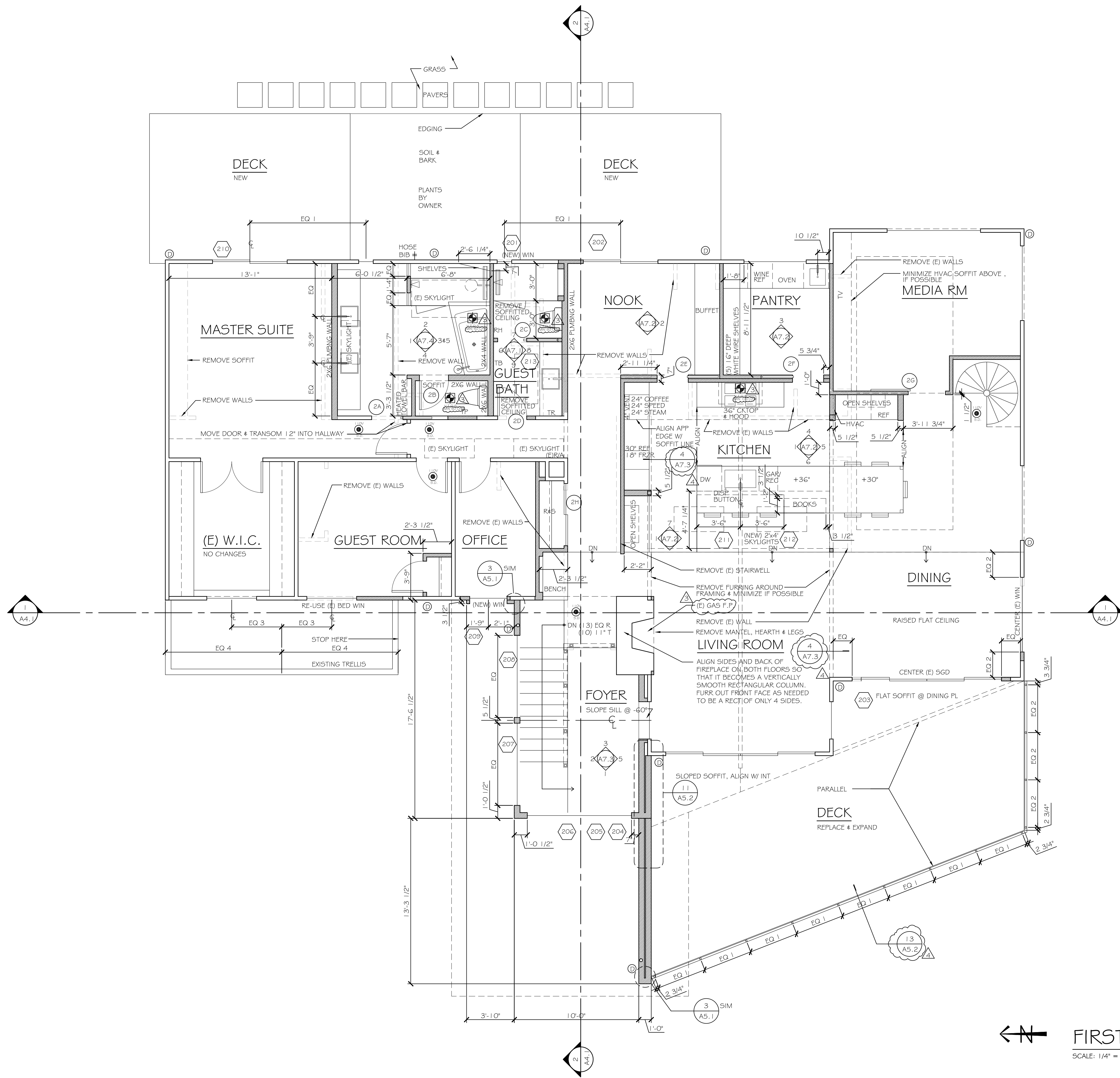
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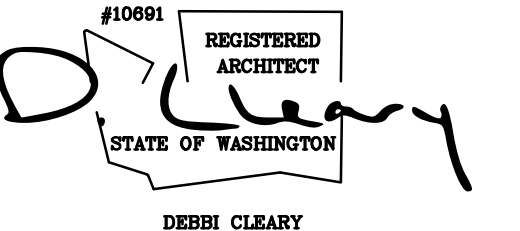
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**A2.2
FIRST
FLOOR PLAN**

- KEY
- REMOVE
 - EXISTING WALL
 - NEW WALL
 - ⊠ VENT TO OUTSIDE
 - ⊙ SMOKE DETECTOR/
CARBON MONOXIDE ALARM
 - ⬡ WINDOW CALL OUT
REFER TO SCHEDULE, SHEET AG.1
 - ⊘ DOOR CALL OUT
REFER TO SCHEDULE, SHEET AG.1
 - ⊙ DOWNSPOUT



← N →
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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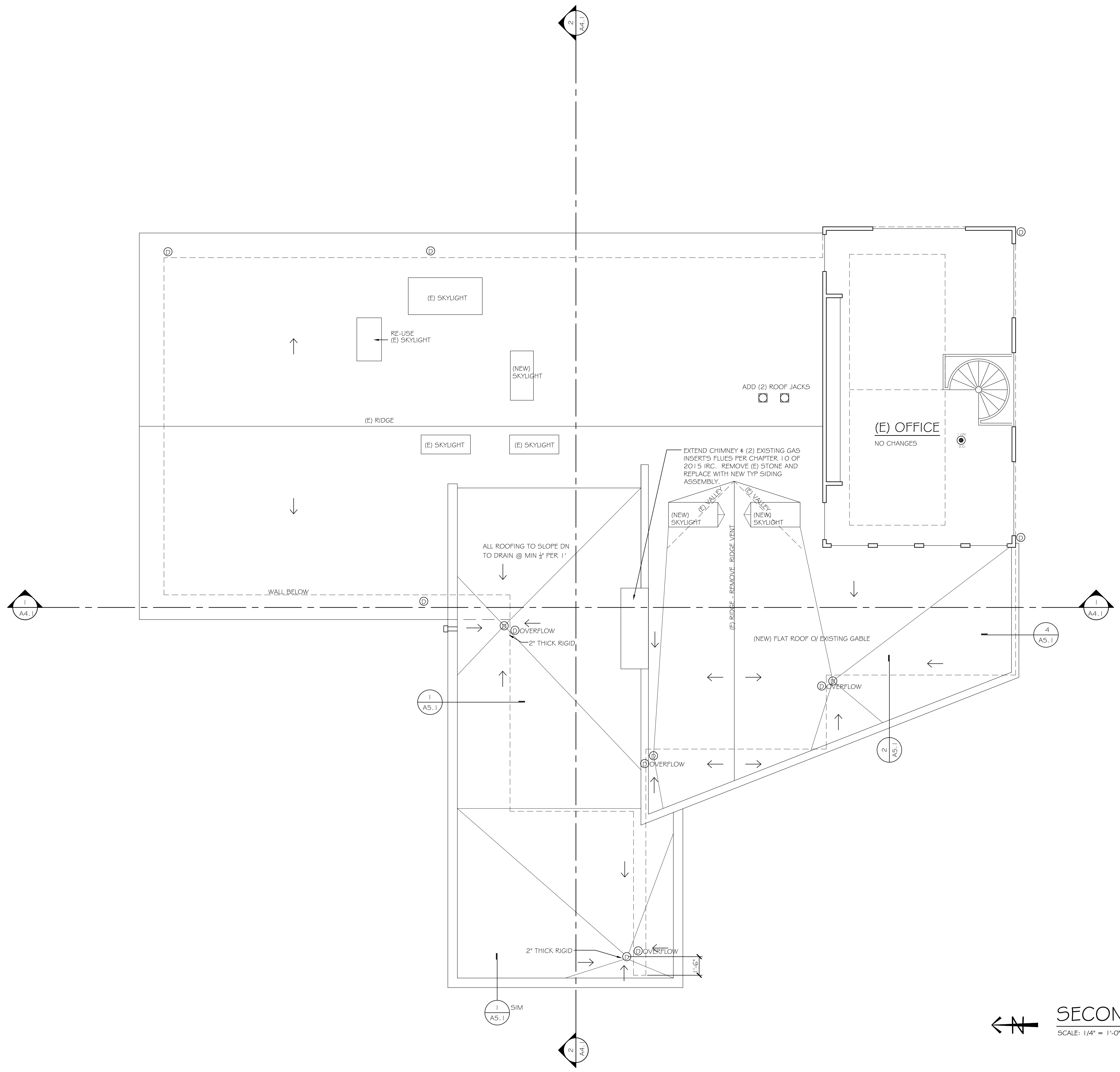
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 A2.3
 SECOND
 FLOOR PLAN

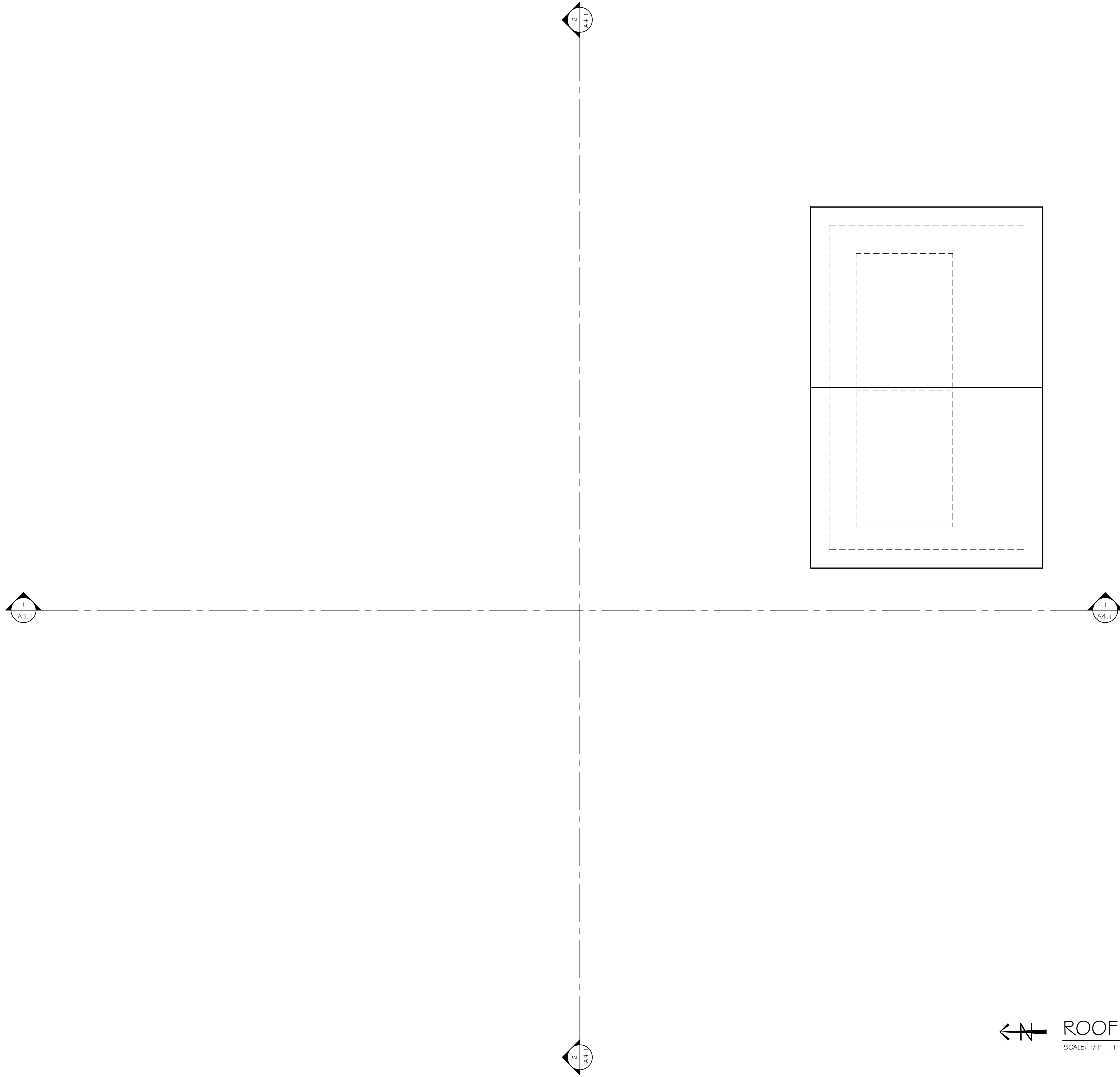
- KEY
- REMOVE
 - EXISTING WALL
 - == NEW WALL
 - ⊕ VENT TO OUTSIDE
 - ⊙ SMOKE DETECTOR/
CARBON MONOXIDE ALARM
 - XXX WINDOW CALL OUT
REFER TO SCHEDULE, SHEET AG.1
 - XX DOOR CALL OUT
REFER TO SCHEDULE, SHEET AG.1
 - ⊙ DOWNSPOUT
 - ⊓ DOWNSPOUT
SCUPPER &
OVERFLO
 - ← DOWNWARD SLOPE
@ 1/4" PER 1' MIN,
U.N.O.

EXISTING ROOFS
 * MAINTAIN CROSS VENTILATION PER IRC 806.

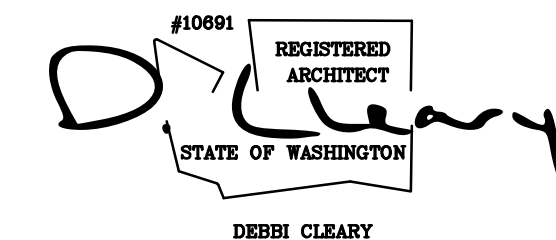
NEW "FLAT" ROOFS
 * STUFF NEW OVER-FRAMED CAVITIES, BELOW NEW "FLAT"
 ROOFS WITH BATT INSULATION.
 * NEW "FLAT" ROOFS ARE TO BE FULLY INSULATED AND
 NON-VENTED.



← SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"




ROOF PLAN
 SCALE: 1/4" = 1'-0"



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**A2.4
 ROOF PLAN**



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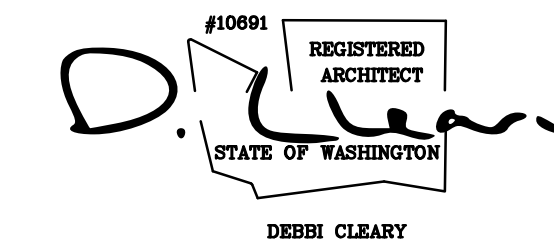
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DRAWING TITLE
**A3.1
 WEST
 ELEVATIONS**



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SOUTH ELEVATION - BEFORE
 SCALE: 1/4" = 1'-0"

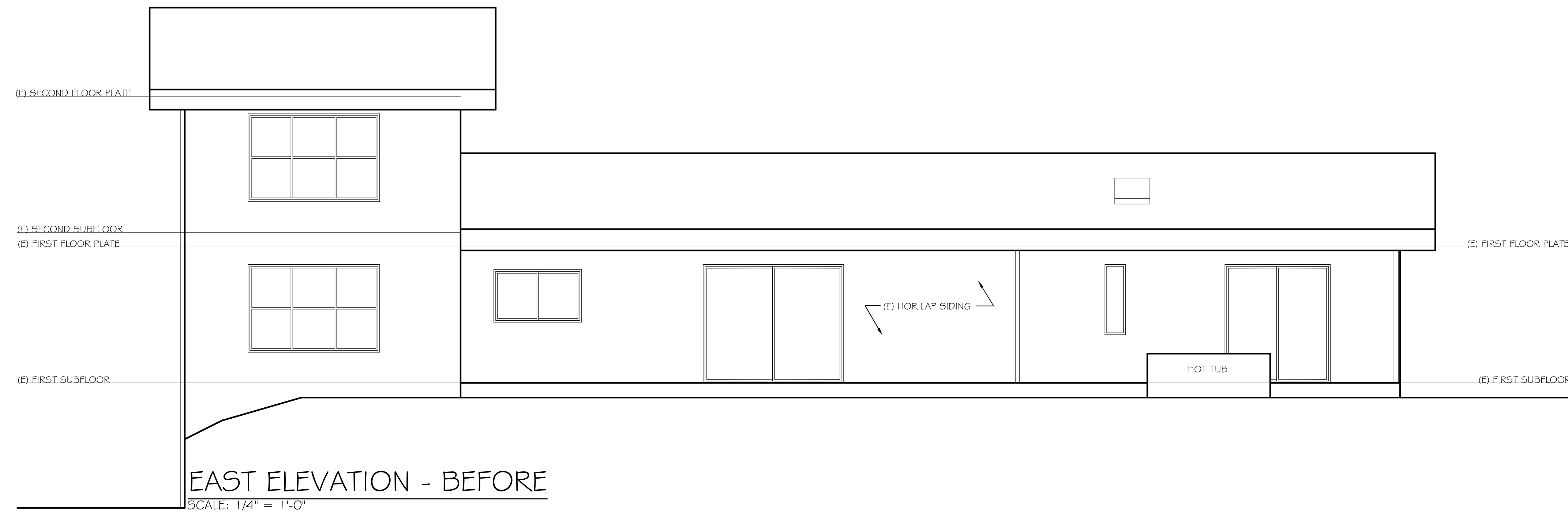
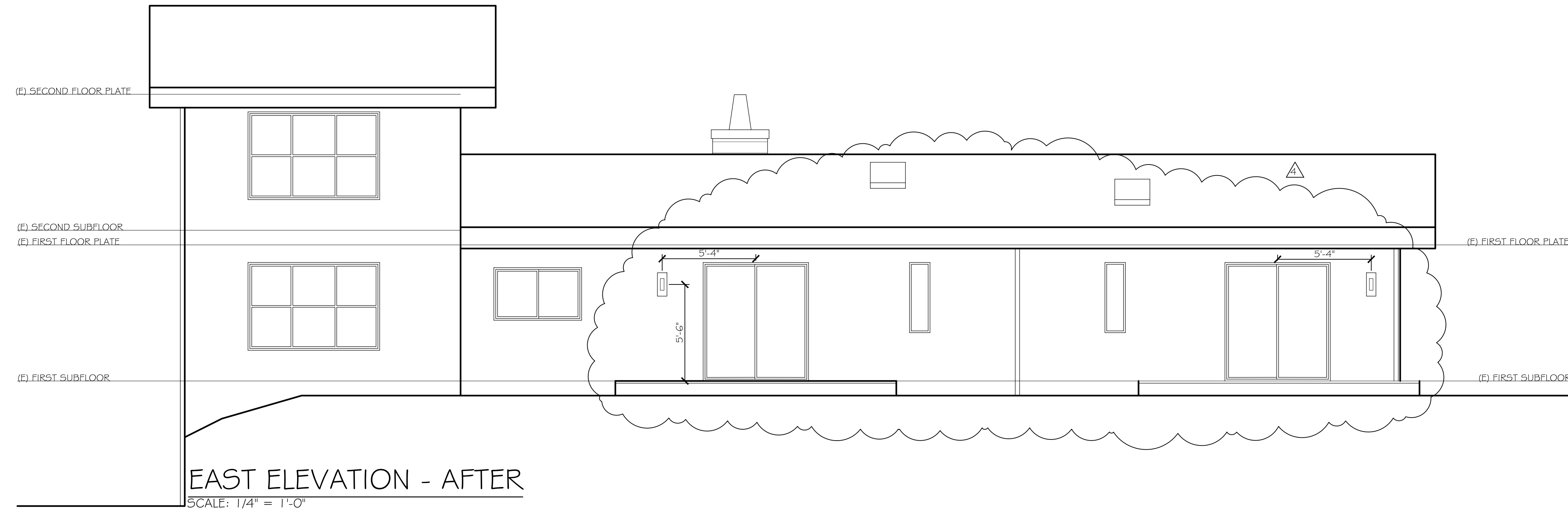
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 A3.2
 SOUTH
 ELEVATIONS



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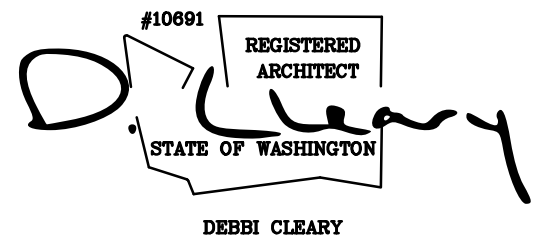
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 A3.3
 EAST
 ELEVATIONS



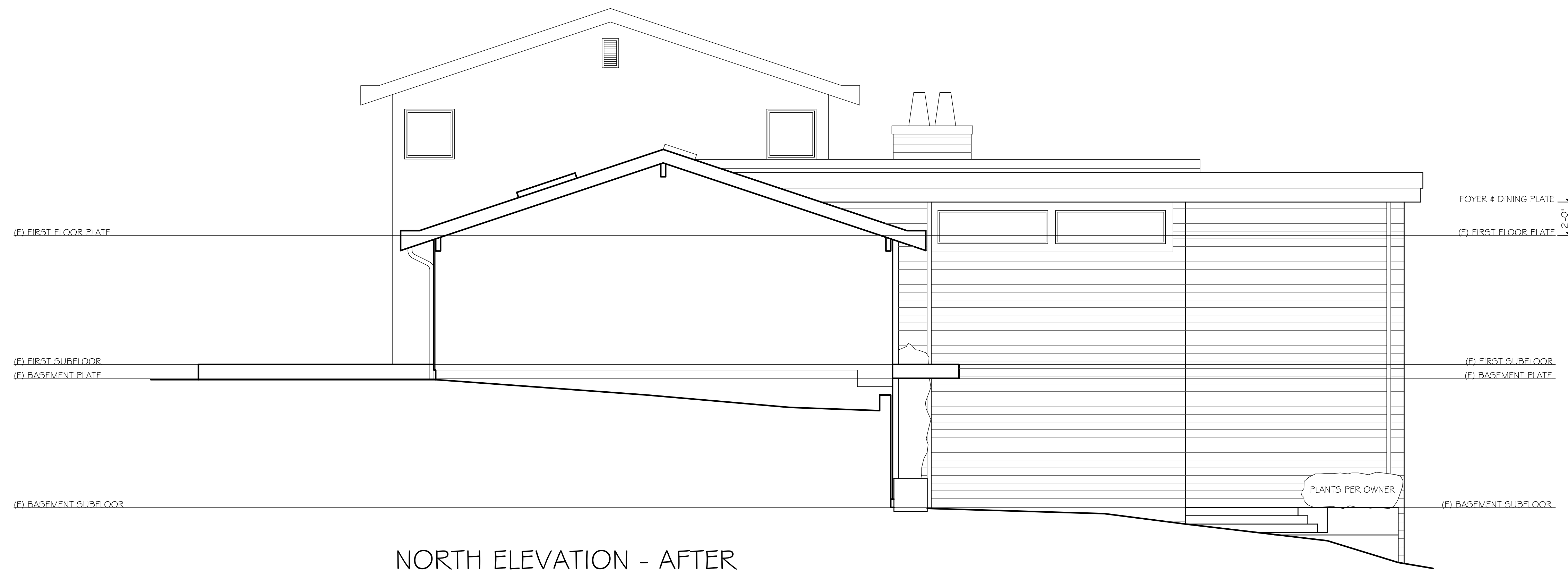
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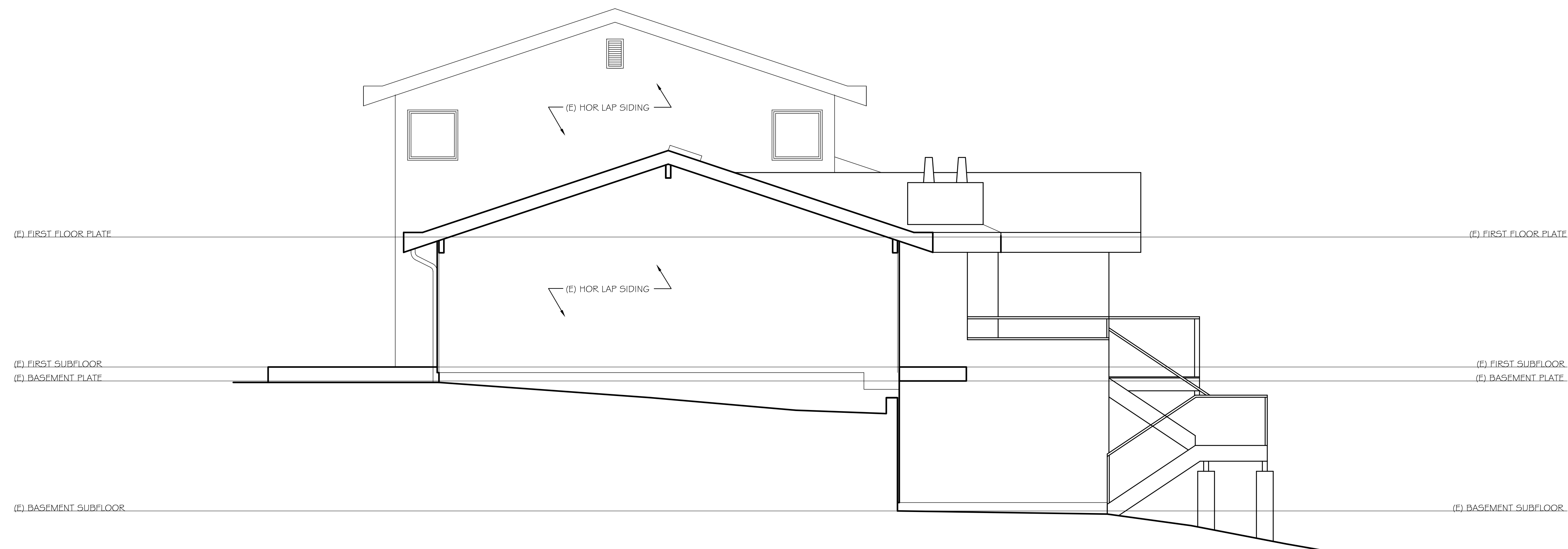
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NORTH ELEVATION - AFTER
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NORTH ELEVATION - BEFORE
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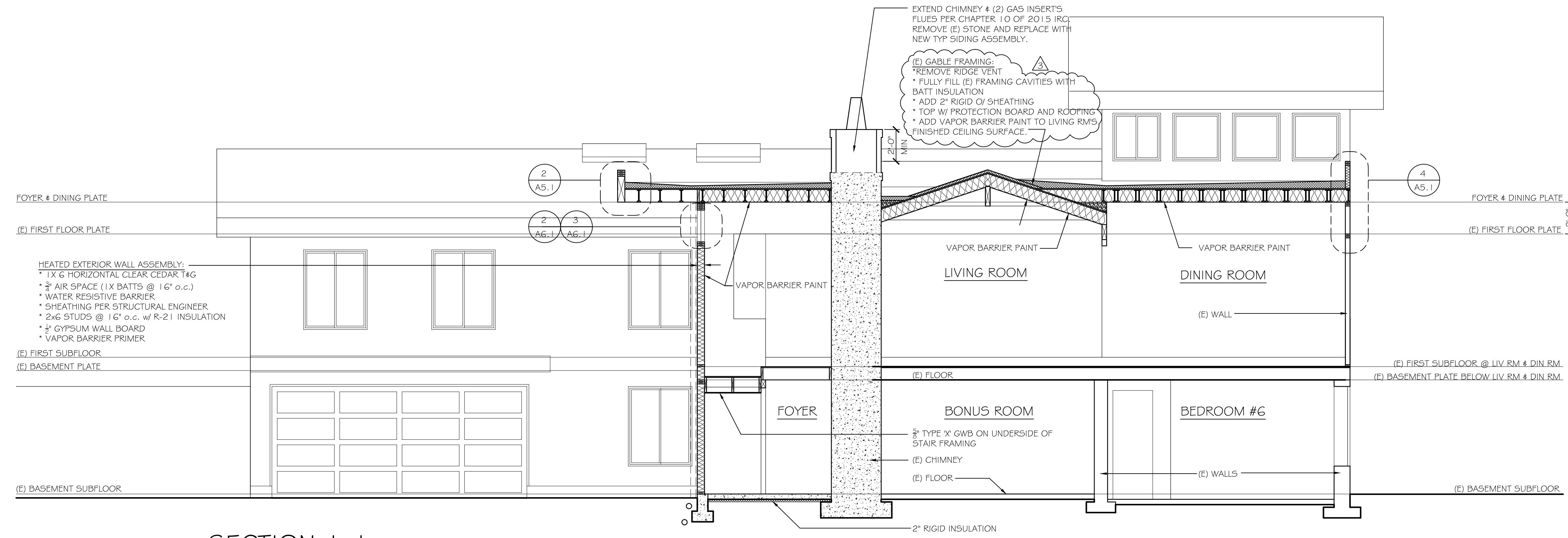
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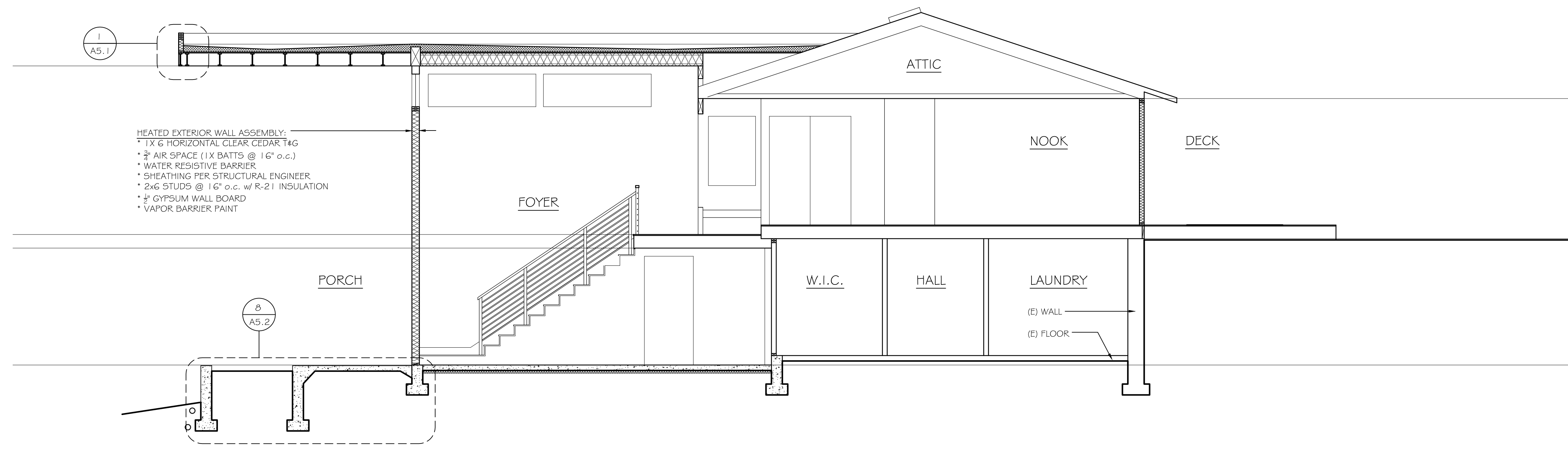
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**A3.4
NORTH
ELEVATIONS**



SECTION 1-1
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SECTION 2-2
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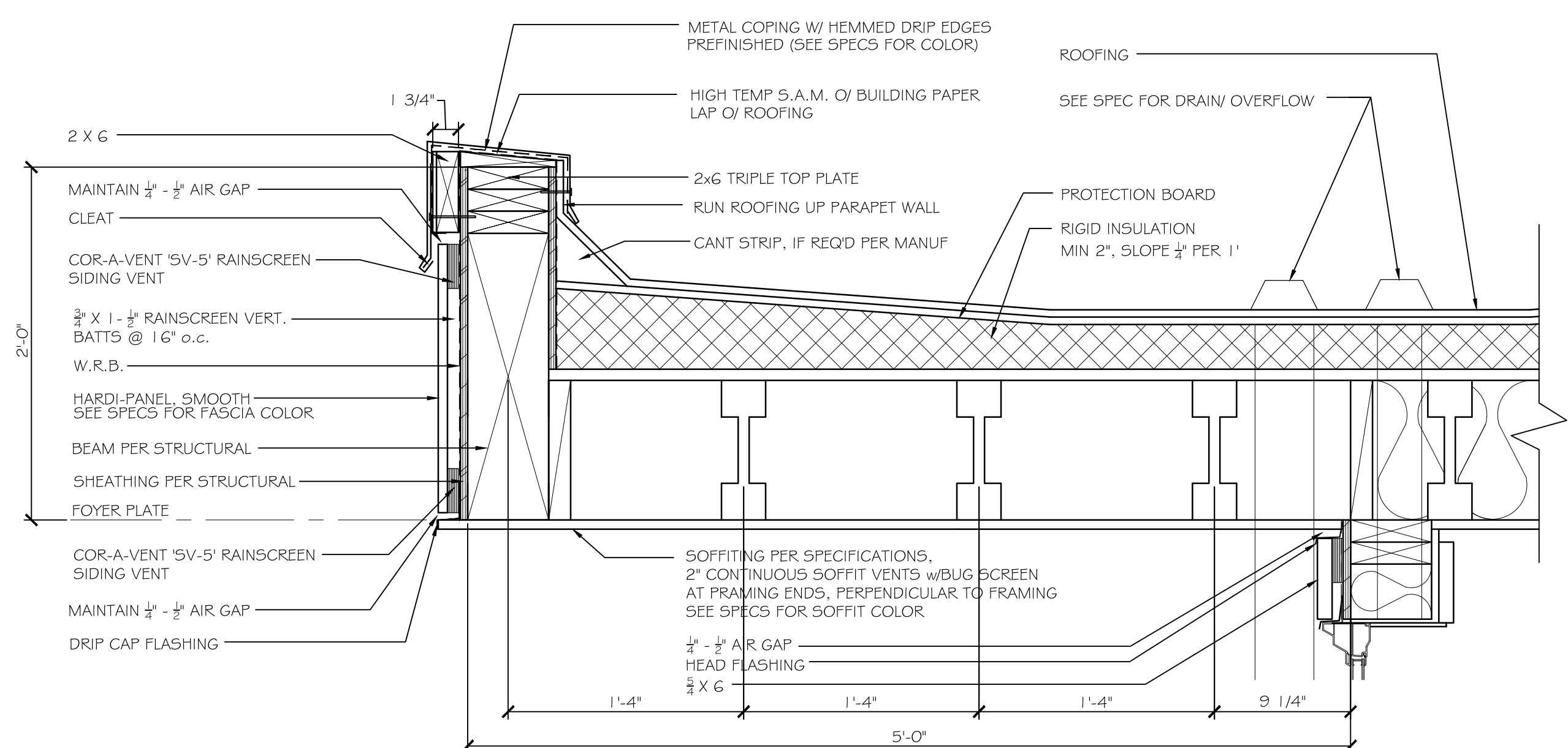
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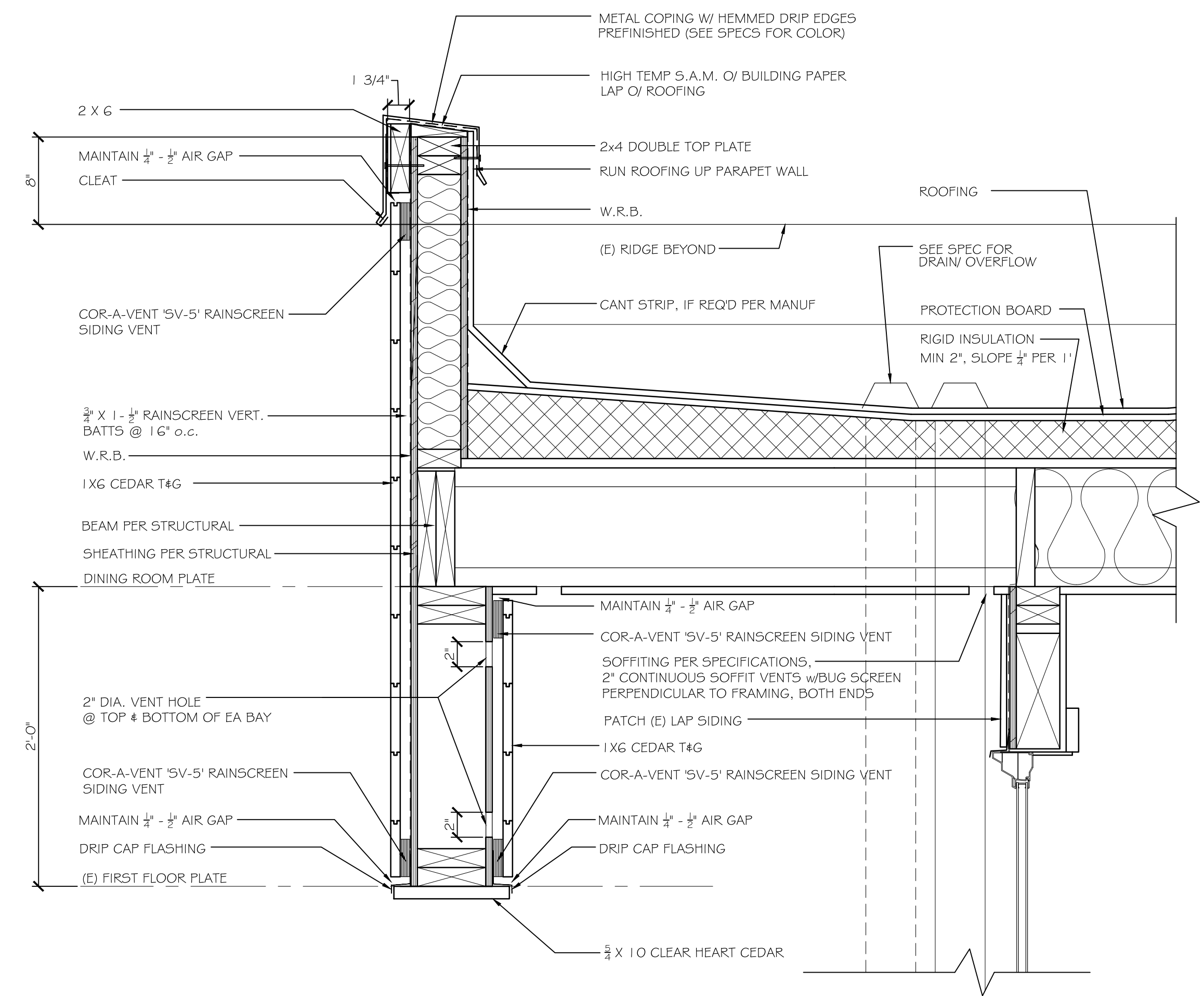
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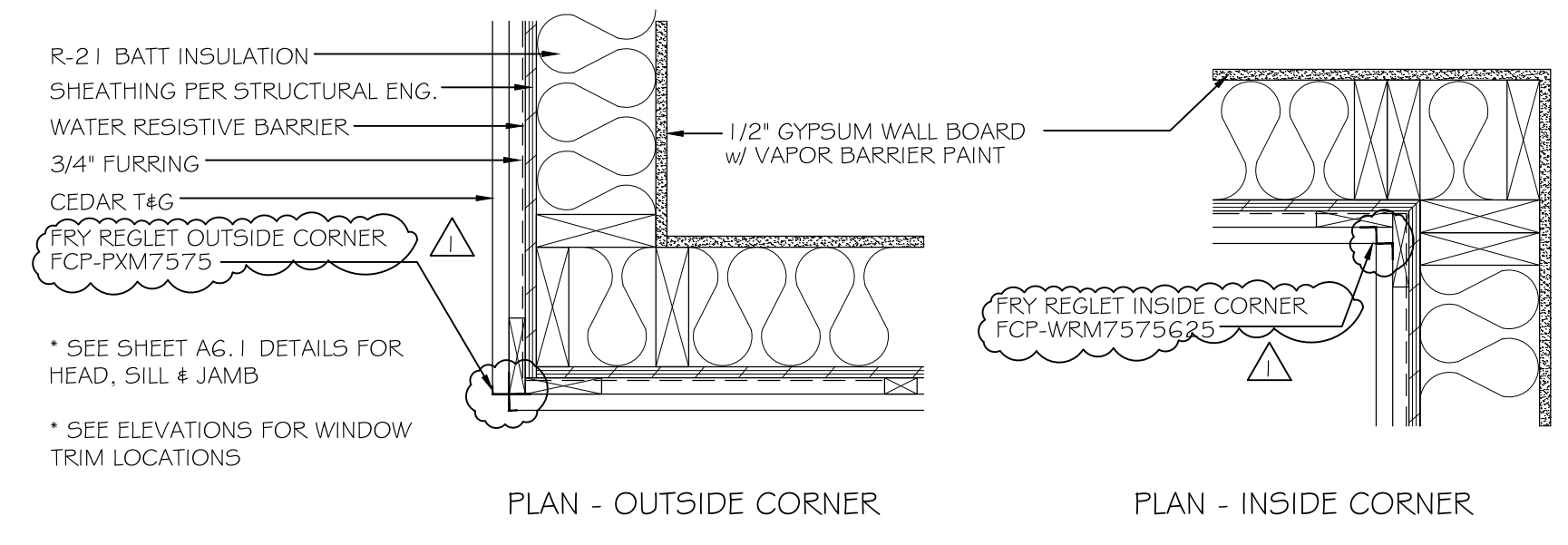
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A4.1 SECTIONS



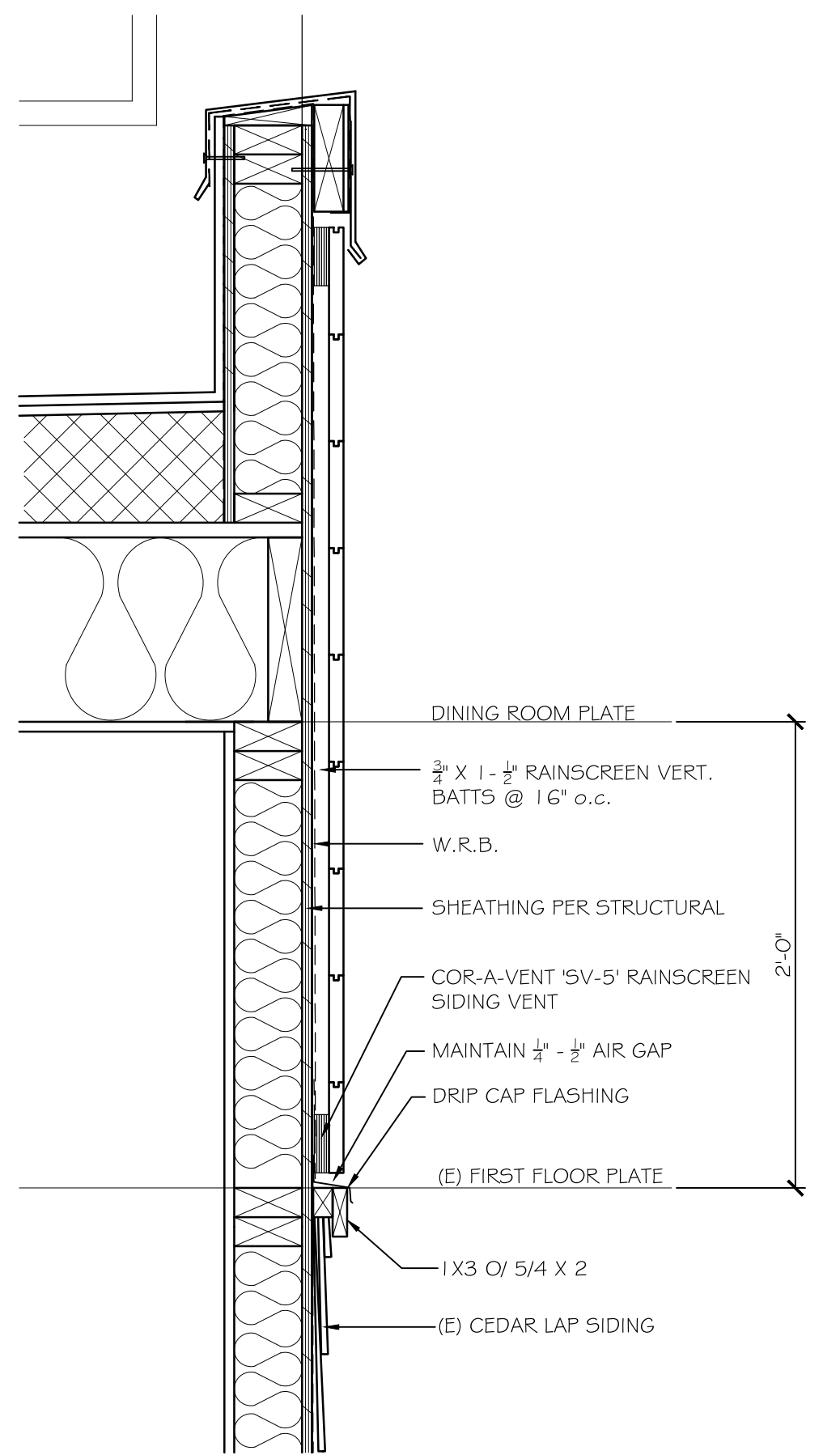
1 - FOYER ROOF & PARAPET
 SCALE: 1 1/2" = 1'-0"



2 - DINING ROOM ROOF & PARAPET
 SCALE: 1 1/2" = 1'-0"



3 - CEDAR T&G SIDING
 SCALE: 1 1/2" = 1'-0"



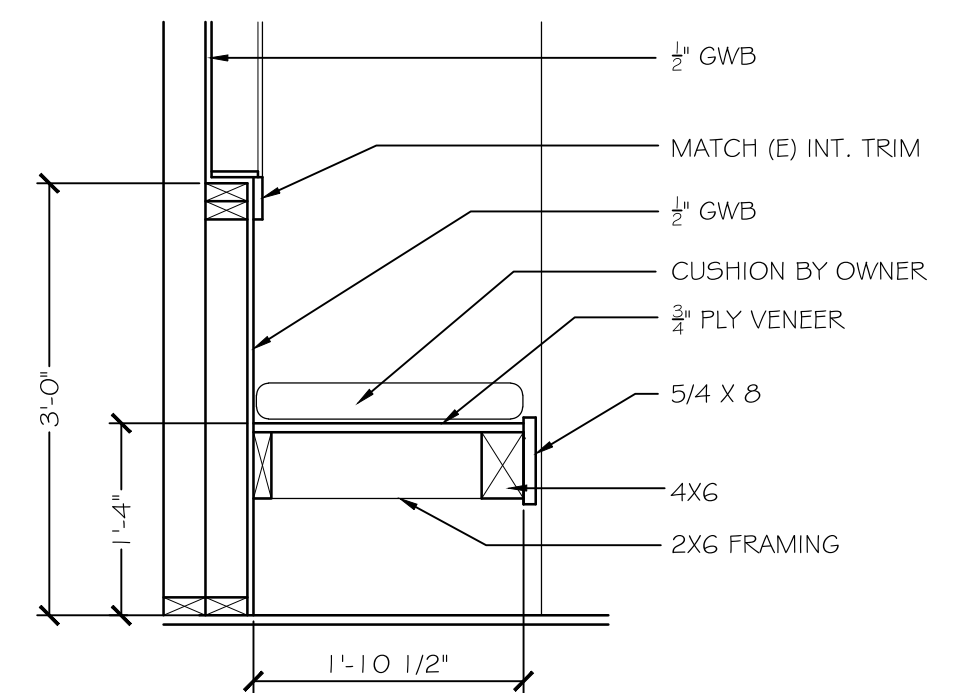
4 - SIDING TRANSITION
 SCALE: 1 1/2" = 1'-0"

N/A

5 - EAVE
 SCALE: 1 1/2" = 1'-0"

N/A

6 - RAKE
 SCALE: 1 1/2" = 1'-0"



7 - BENCH
 SCALE: 3/4" = 1'-0"

PROJECT NAME:
MUNSON RESIDENCE

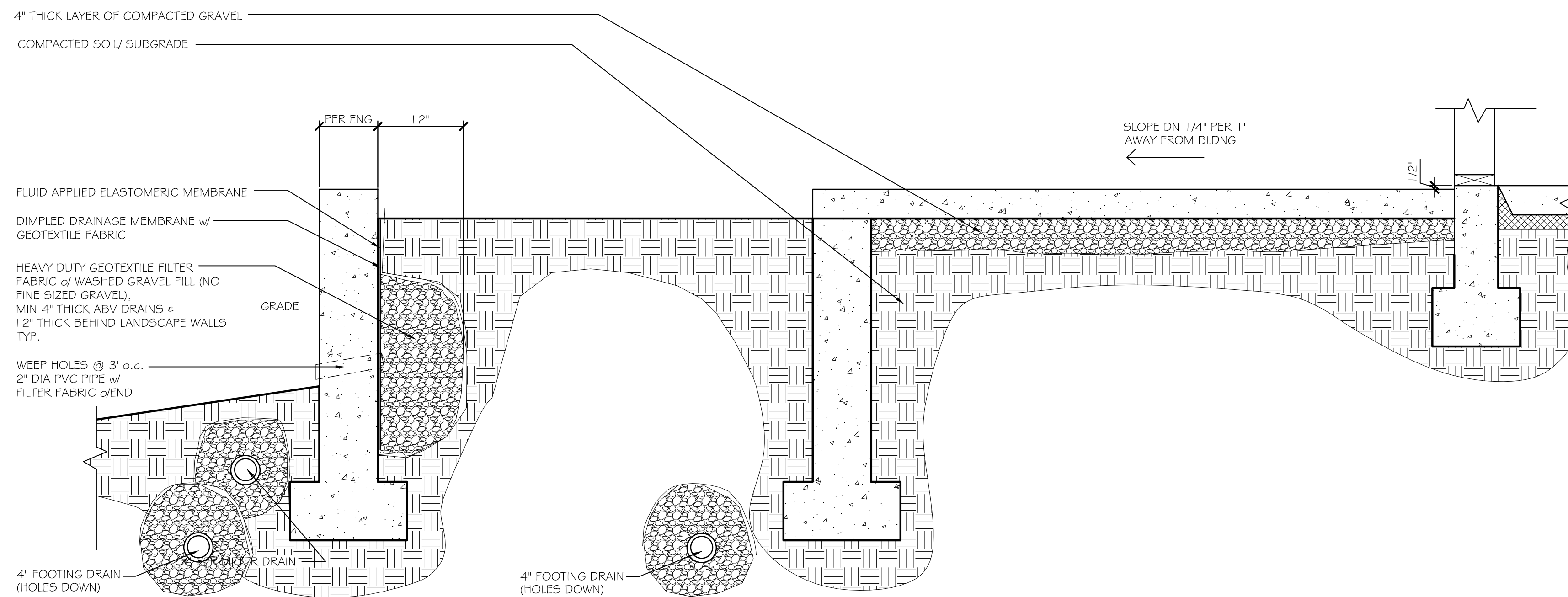
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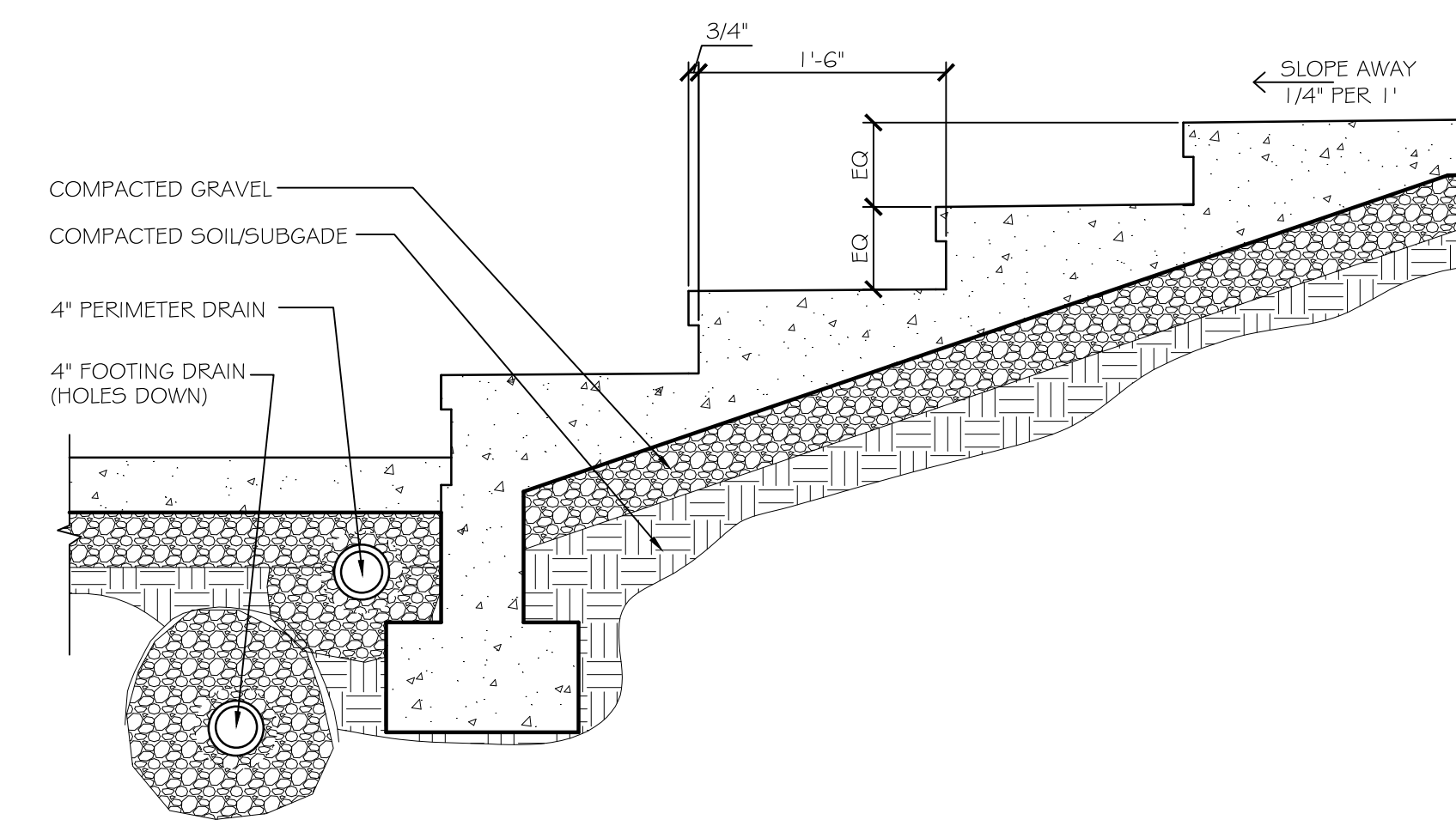
- REVISIONS:
- △ 4-18-19, GARAGE DOOR REVISION
 - △ 6-28-19, SPECS & PRICING
 - △ 8-13-19, PERMIT REVIEW RESPONSES
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DRAWING TITLE
A5.1 DETAILS

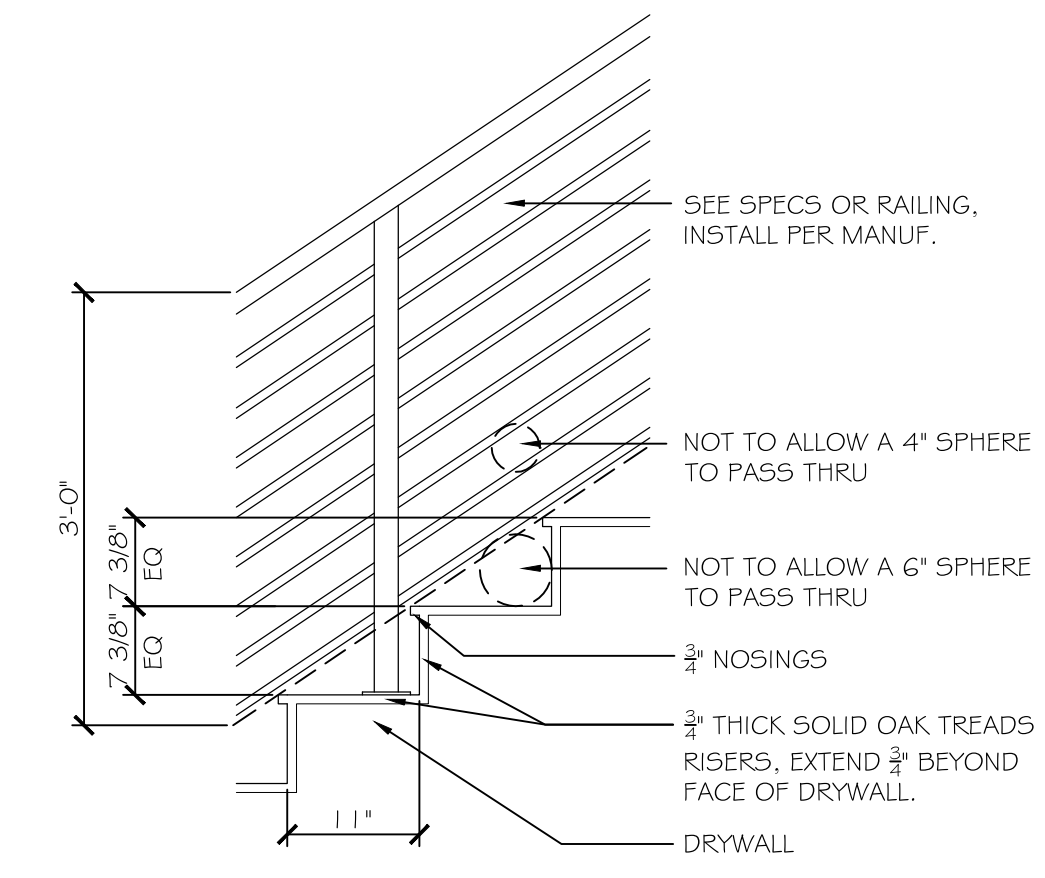
△	4-18-19, GARAGE DOOR REVISION
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△	8-13-19, PERMIT REVIEW RESPONSES
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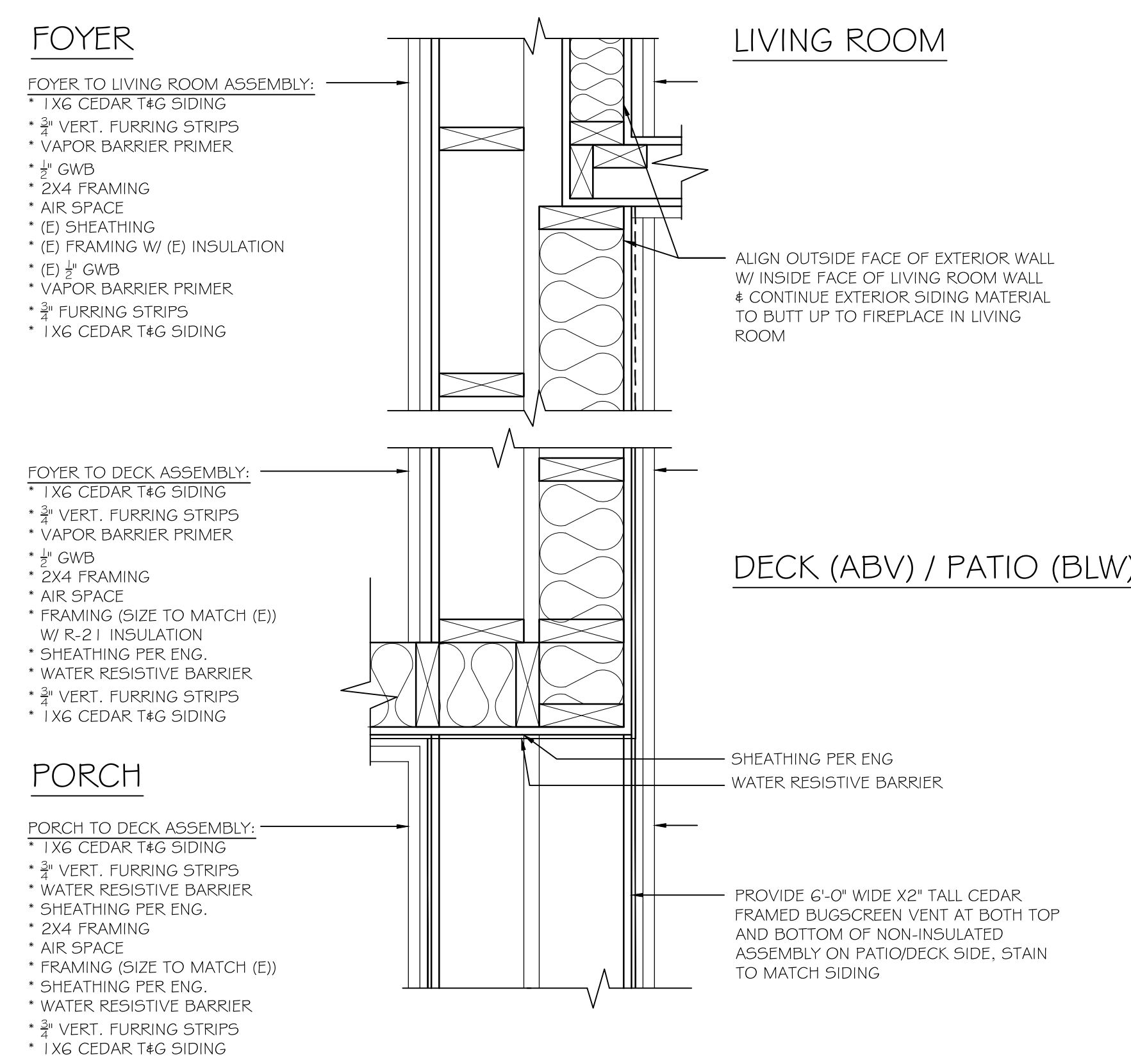
8 - PORCH
SCALE: 1" = 1'-0"



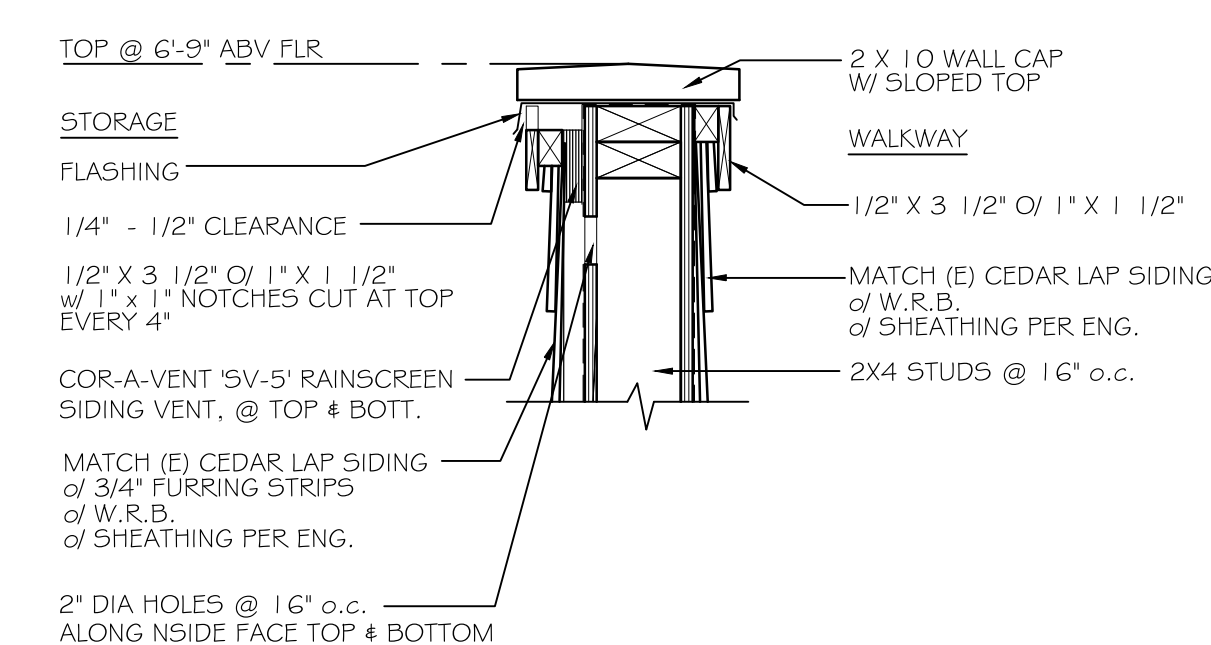
9 - PORCH STEPS
SCALE: 1" = 1'-0"



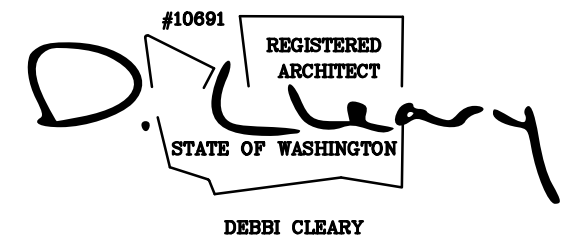
10 - FOYER STAIRS
SCALE: 3/4" = 1'-0"



11 - W.R.B. & VENTING
SCALE: 1 1/2" = 1'-0"



12 - STORAGE WALL
SCALE: 1 1/2" = 1'-0"

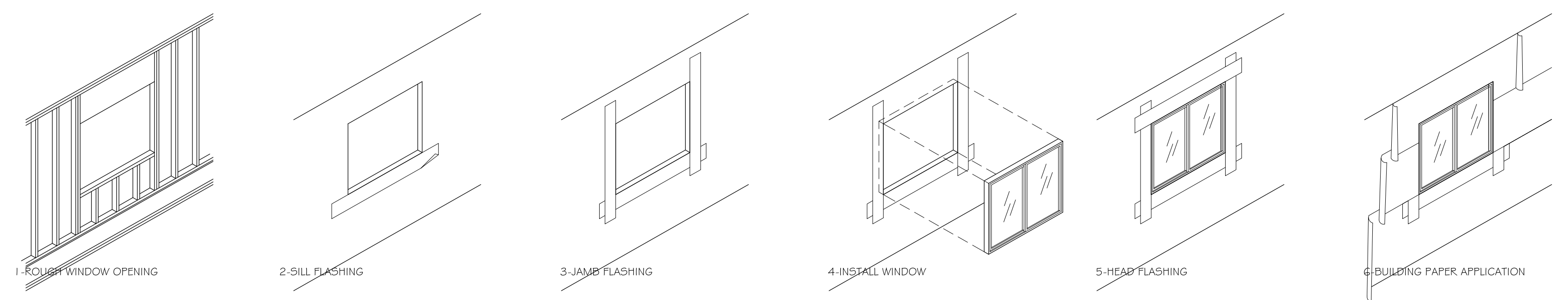


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GENERAL NOTES

1. WINDOW MANUFACTURER: MATCH EXISTING
2. ALL GLAZING SHALL BE DOUBLE GLAZED W/ (1) LAYER OF LOW-E COATING & 2" AIRSPACE FILLED WITH ARGON GAS AS REQD. AVERAGE U-VALUE TO BE .20 OR BETTER.
3. ALL DOOR & WINDOW HEAD CASINGS TO ALIGN, U.N.O.
4. G.C./SUB-CONTRACTOR TO VERIFY UNIT HEIGHT AND ROUGH OPENING W/ WINDOW MANUFACTURER AND ADJUST AS NEEDED TO ALLOW DOOR & WINDOW HEIGHTS TO ALIGN.
5. WINDOW SUPPLIER TO VERIFY LOCATION OF ALL SAFETY GLASS PER CURRENT CODE REQUIREMENTS.
6. ALL HEADER HEIGHTS ARE MEASURED FROM THE TOP OF SUBFLOOR, U.N.O.
7. PROVIDE SCREENS AT ALL OPERABLE WINDOWS.
8. G.C./SUB-CONTRACTOR TO VERIFY EGRESS WINDOWS MEET IRC CODE W/ MIN CLEAR OPENING OF 20" WIDTH & 24" HEIGHT & MIN 5.7 SF NET OPENING & 44" MAX SILL WIDTH.
9. PROVIDE A LIMITER NOT MORE THAN 4" ABOVE SILL HEIGHTS OF LESS THAN 24" TYP.
10. ALL EXTERIOR DOORS, OF HEATED SPACES, SHALL HAVE LOW PROFILE THRESHOLDS AND WEATHERSTRIPPING.



PENETRATION FLASHING RECOMMENDATIONS BY NORTHWEST WALL AND CEILING BUREAU

FLASHING PAPER: VAPOR BARRIER COATED & REINFORCED. GRADE A OR B. DO NOT USE BUILDING PAPER, ROOFING FELTS OR SPUNBONDED POLYOLEFIN/HOUSEWRAPS AS FLASHING.

INSTALLATION 2: ATTACH SILL FLASHING AT EDGE OF OPENING ONLY. EXTEND PAST JAMB FLASHING.

3: ATTACH JAMB PEICES. LAP OVER SILL PIECE AND LEAVE BOTTOM TABS UNATTACHED. SILICONE SEALANT PER ASTM C-920.

4: APPLY A CONTINUOUS BEAD OF SEALANT WITHIN 1/2" OF OPENING. SET WINDOW ONTO SEALANT AND FASTEN TO STRUCTURE. INSPECT WINDOW FINIS FOR DAMAGE. DRIP FLASHING: EXTERIOR GRADE PVC MEETING ASTM D-1784 OR MINIMUM 24 GA GALVANIZED STEEL.

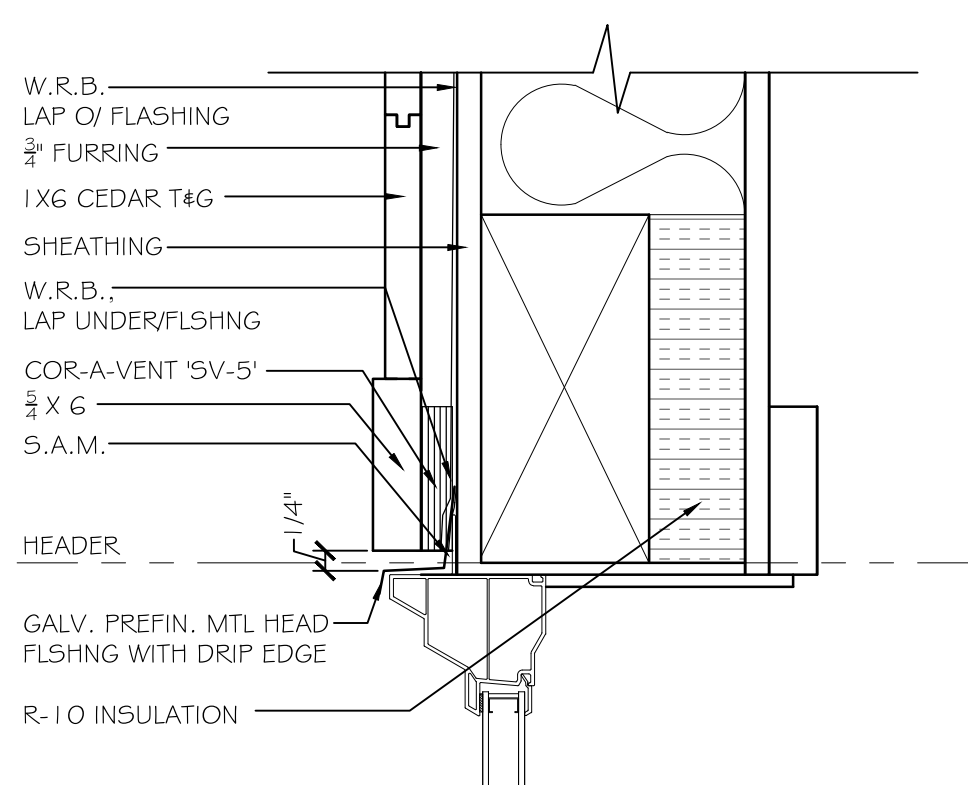
5: APPLY FLASHING PAPER @ HEAD OF WINDOW OVER NAIL FLANGE. NOTE: REMOVE WRINKLES AND INSPECT FOR TEARS.

6: SLIP WATER RESISTIVE BARRIER UNDER SILL FLASHING. 2ND COURSE OF BUILDING PAPER LAPS OVER JAMB FLASHING AND 3RD COURSE LAPS OVER HEAD FLASHING. BUILDING PAPER MUST HAVE HORIZONTAL LAPS OF 2" MIN (4" TO 6" RECOMMENDED), VERTICAL LAPS MUST BE 6" MIN. (8" TO 12" RECOMMENDED). NOTE: SILL FLASHING AND JAMB TABS ARE EXPOSED AND WILL SHED WATER DOWN AND ONTO THE BUILDING PAPER AND MUST BE ALLOWED TO ULTIMATELY WEEP OUT.

PENETRATION FLASHING RECOMMENDATIONS BY NORTHWEST WALL AND CEILING BUREAU

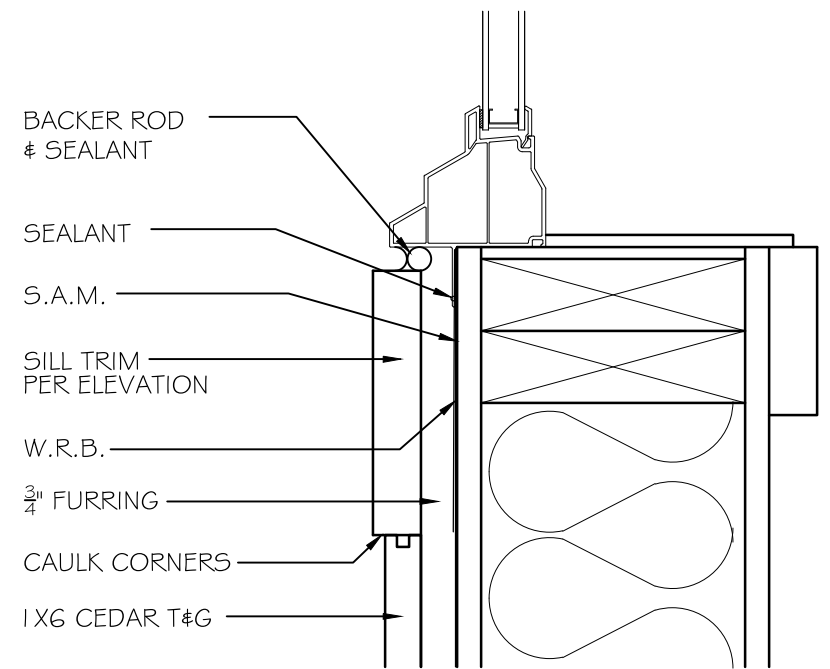
1 - WINDOW INSTALLATION

NOT TO SCALE



2 - WINDOW HEAD

SCALE: 3" = 1'-0"



3 - WINDOW SILL & JAMB

SCALE: 3" = 1'-0"

WINDOW SCHEDULE

WINDOW	SIZE	MATCH (E)	OPERATION (SEE PLANS & ELEV.)	HEADER HEIGHT (ABOVE SUBFLOOR)	SAFETY GLAZED	HARDWARE (MATCH (E))	EGRESS	COMMENTS
101	3'-0" X MATCH HEIGHT OF (E) MSTR WIC WIN		AWN	(E)	YES		YES	
201	MATCH (E) MSTR BATH WIN							
202	6'-0" X (E) HEIGHT		SGD					
203	MATCH (E) SGD WIDTH X 2'-0" TALL		PIC	2'-5 1/2" ABV SGD HEAD	YES			IF WIDTH IS NOT POSSIBLE, IT CAN BE DIVIDED IN HALF FOR 2 MULLED TOGETHER.
204	3'-0" X FIELD MEASURE		PIC		YES			FIT SPACE BETWEEN TRIM, SEE ELEV
205	3'-0" X MATCH HEIGHT OF (E) MSTR WIC WIN		PIC	ALIGN W/ MSTR W.I.C.				
206	FIELD VERIFY X 2'-0"		PIC	CENTER WIN BETWEEN WIN BLW & PL				
207	FIELD VERIFY X 2'-0"		PIC	ALIGN W/ #204				
208	FIELD VERIFY X 2'-0"		PIC	ALIGN W/ #204				
209	3'-0" X MATCH HEIGHT OF (E) MSTR WIC WIN		PIC	ALIGN W/ MSTR W.I.C.	YES			
210	6'-0" X (E) HEIGHT		SGD					CRYSTALITE SKYLIGHT
211	2'-0" X 4'-0" SKYLIGHT		PIC					CRYSTALITE SKYLIGHT
212	2'-0" X 4'-0" SKYLIGHT		PIC					CRYSTALITE SKYLIGHT
213	6'-0" X 6'-0" SKYLIGHT		PIC					CRYSTALITE SKYLIGHT

DOOR SCHEDULE

DOOR	DOOR SIZE	MATCH (E)	OPERATION (SEE PLANS & ELEV.)	SAFETY GLAZED	HARDWARE	EGRESS	COMMENTS
1A	2'-8" X 6'-8"	MATCH (E)	SWING				
1B	2'-8" X 6'-8"	MATCH (E)	SWING				
1C	2'-8" X 6'-8"	MATCH (E)	SWING				
1D	2'-6" X 6'-8"	PER MANUF	POCKET				
1E	3'-0" X 6'-8"	MATCH (E)	SWING				
1F	3'-0" X 6'-8"	MATCH (E)	SWING			YES	EXTERIOR DOOR, SEE SPECIFICATIONS
1G	2'-4" X 6'-8"	MATCH (E)	SWING				
1H	2'-4" X 6'-8"	MATCH (E)	SWING				
1I	8'-0" X 7'-0"	EXISTING	OVERHEAD GARAGE DOOR				SEE SPECIFICATIONS
1J	8'-0" X 7'-0"	EXISTING	OVERHEAD GARAGE DOOR				SEE SPECIFICATIONS
2A	2'-6" X 6'-8"	PER MANUF	POCKET				
2B	2'-4" X 6'-8"	6'-10 1/2"	SWING				
2C	2'-4" X 6'-8"	PER MANUF	POCKET				
2D	2'-4" X 6'-8"	6'-10 1/2"	SWING				
2E	2'-6" X 6'-8"	PER MANUF	POCKET				
2F	2'-6" X 6'-8"	PER MANUF	POCKET				
2G	3'-0" X 7'-0"	PER MANUF	BARND DOOR				SEE SPECIFICATIONS
2H	5'-0" X 6'-8"	PER MANUF	BI-PASS				

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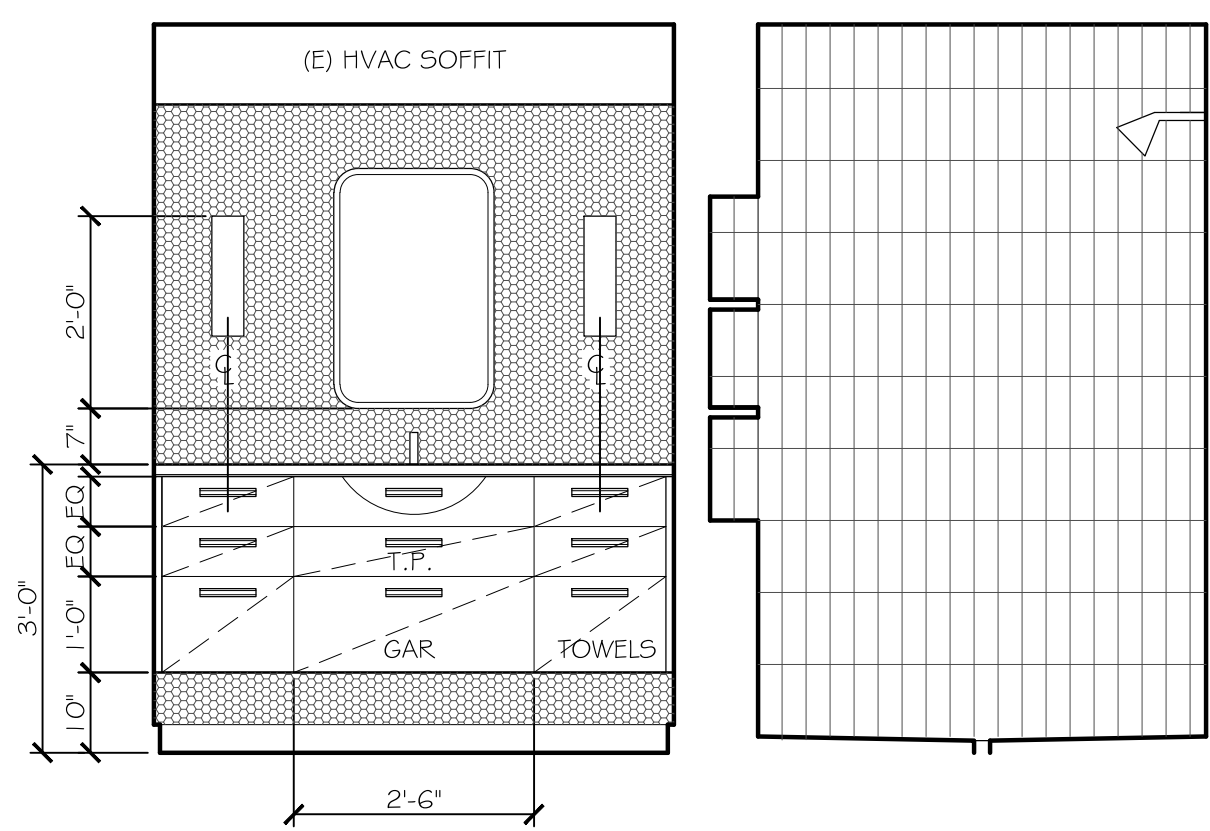
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A6.1 DR & WIN DETAILS

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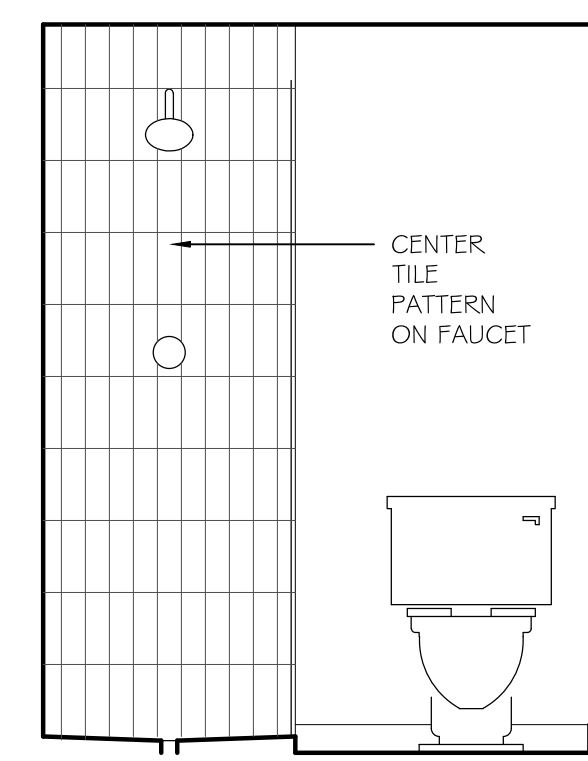
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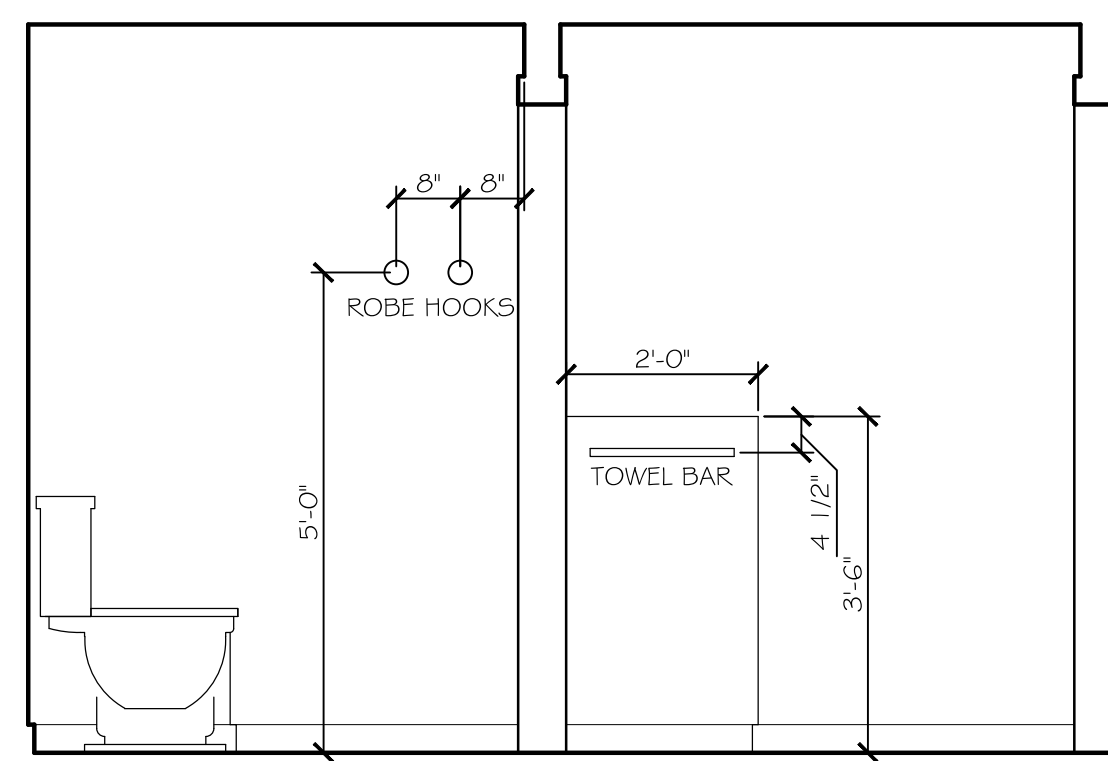
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A7.1 INT.ELEVS



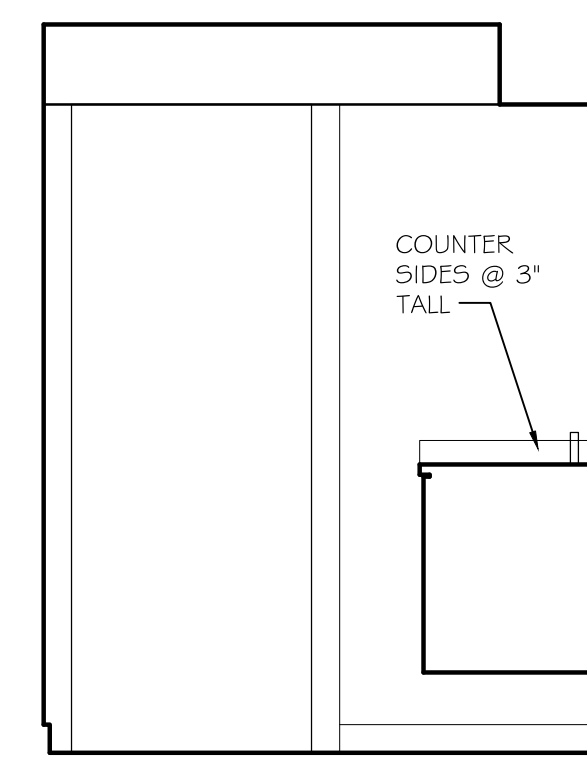
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 SCALE: 1/2" = 1'-0"



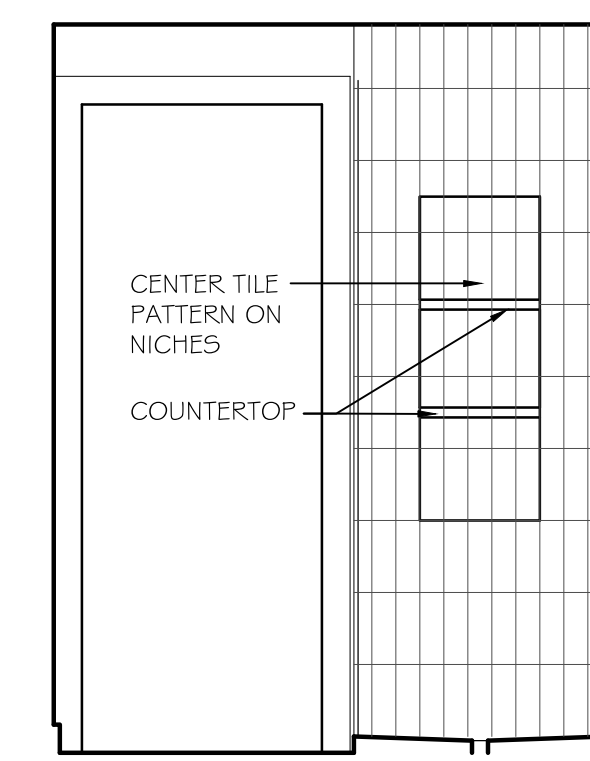
2-KID'S BATH #1
 SCALE: 1/2" = 1'-0"



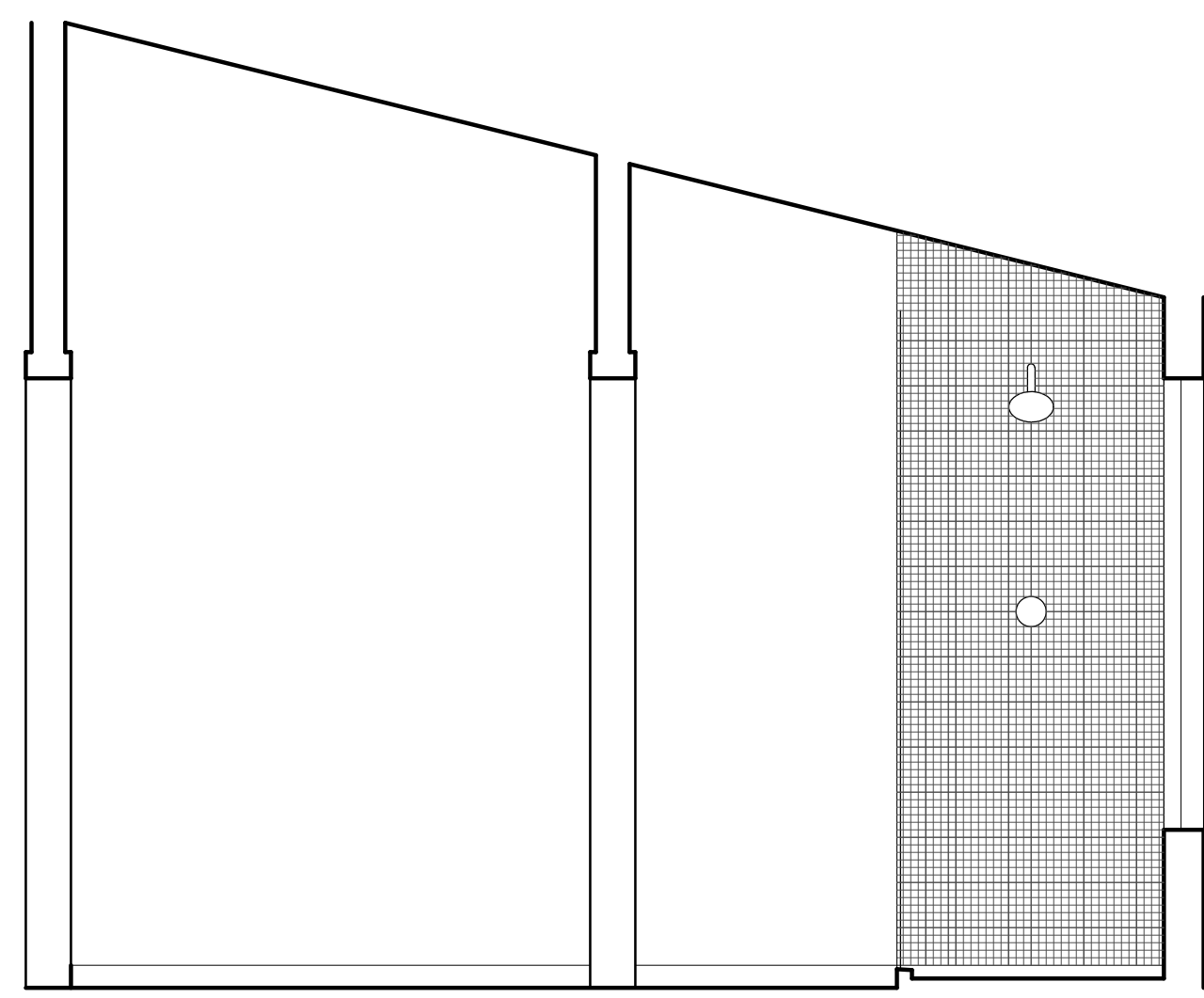
3-KID'S BATH #1
 SCALE: 1/2" = 1'-0"



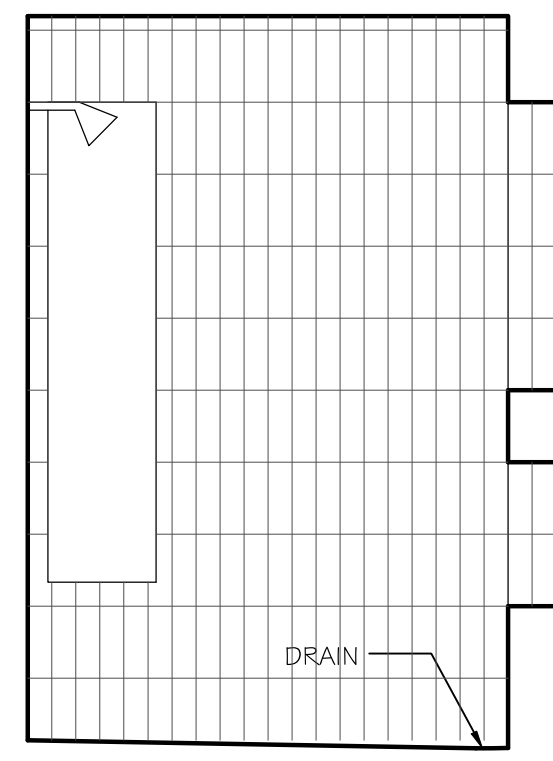
4-KID'S BATH #1
 SCALE: 1/2" = 1'-0"



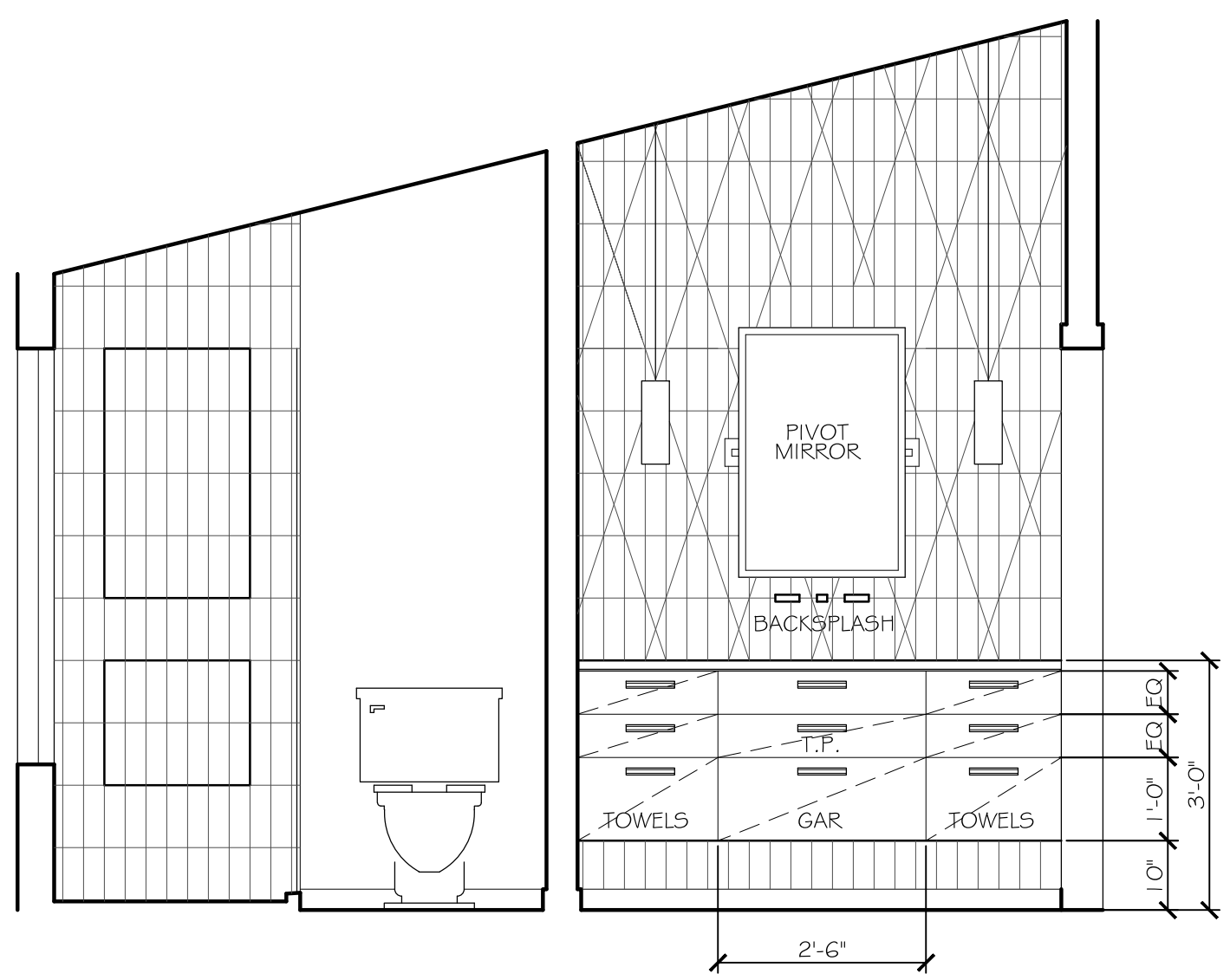
5-KID'S BATH #1
 SCALE: 1/2" = 1'-0"



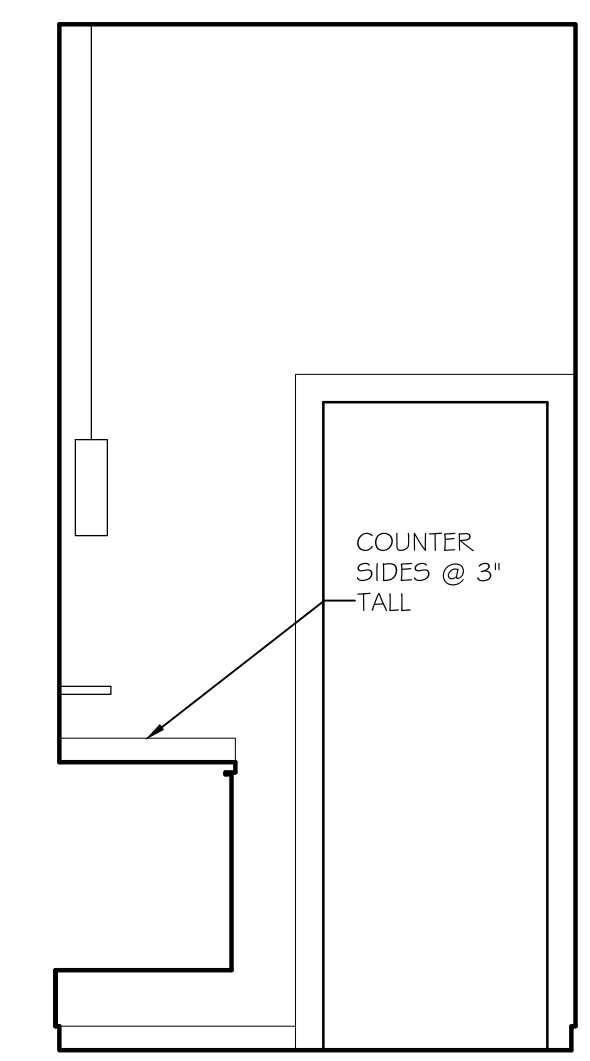
6-GUEST BATH
 SCALE: 1/2" = 1'-0"



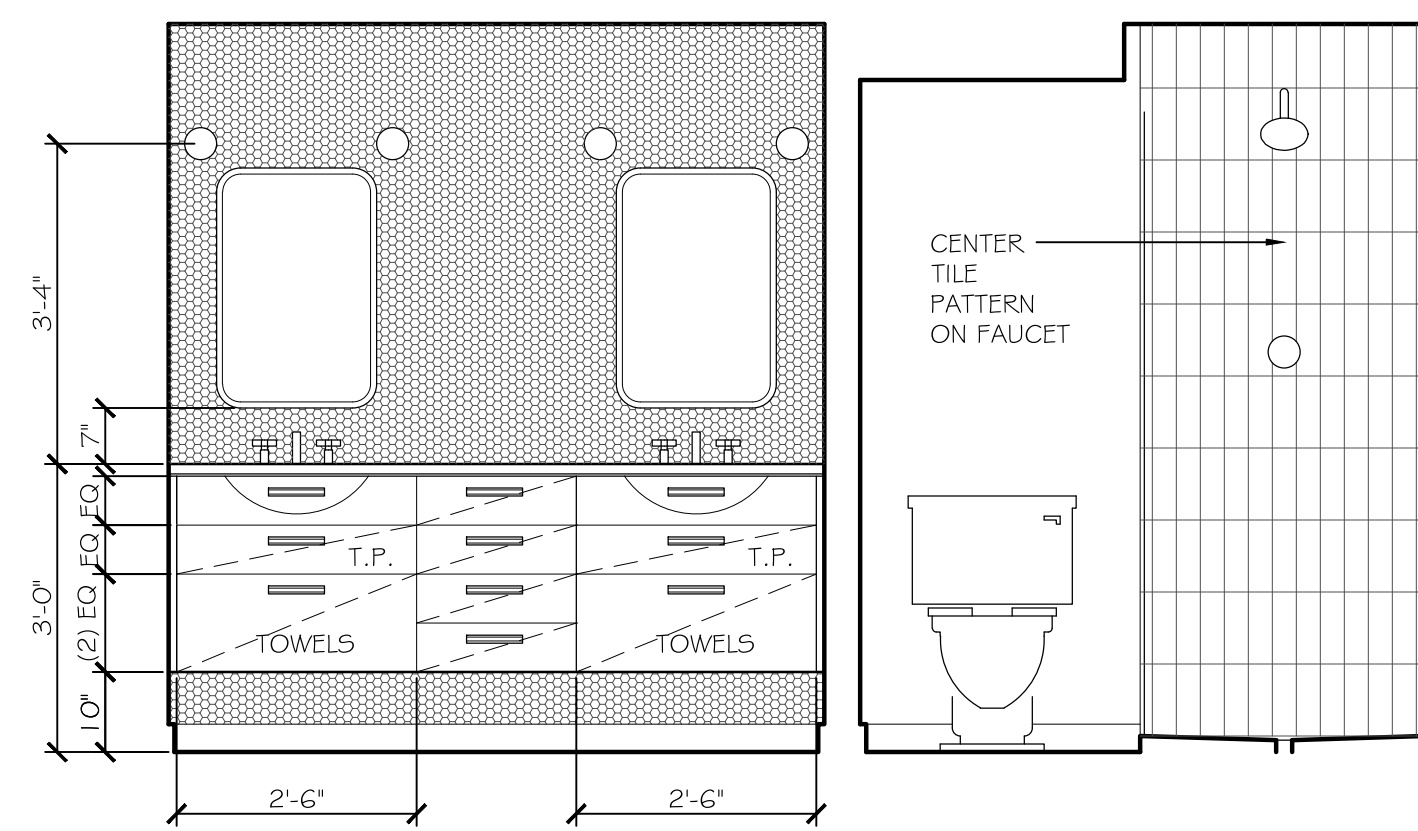
7-GUEST BATH
 SCALE: 1/2" = 1'-0"



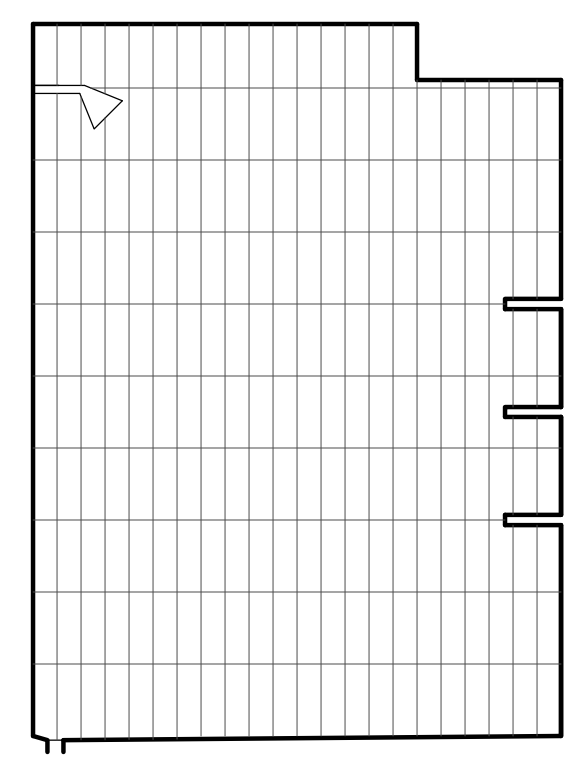
8-GUEST BATH
 SCALE: 1/2" = 1'-0"



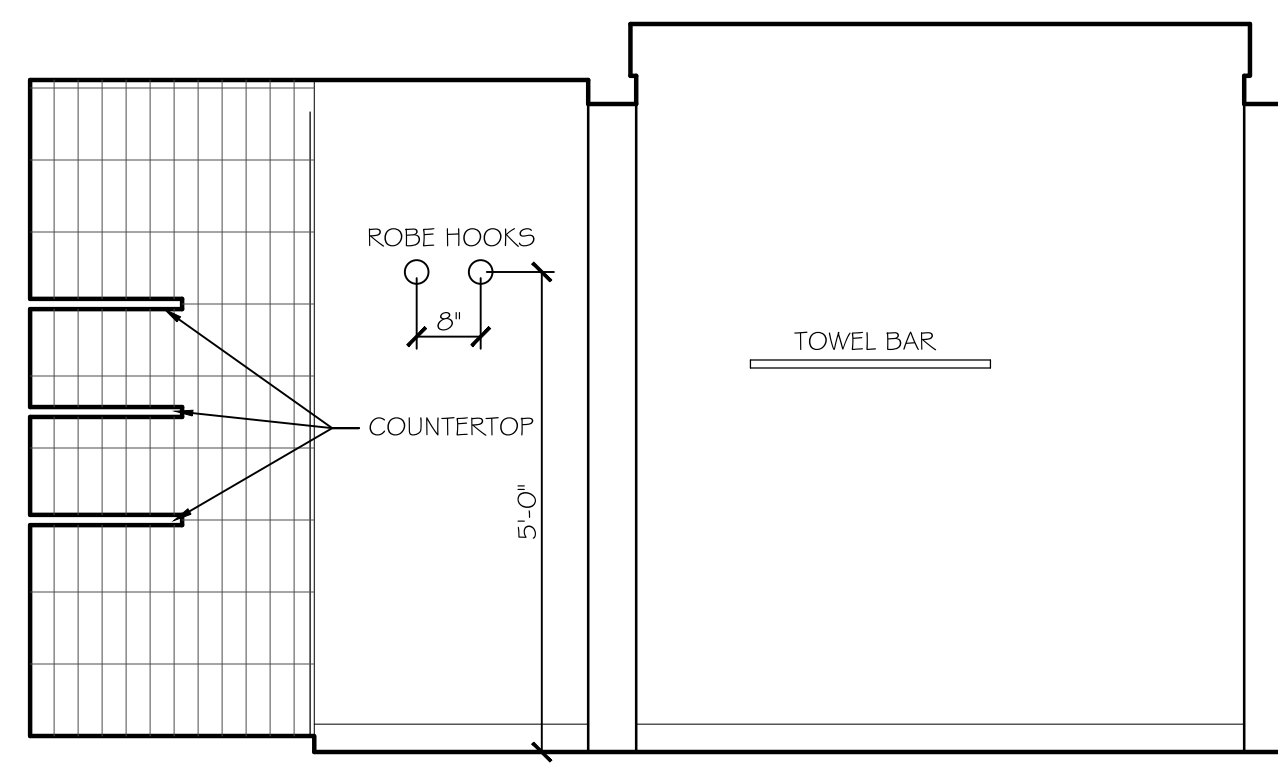
9-GUEST BATH
 SCALE: 1/2" = 1'-0"



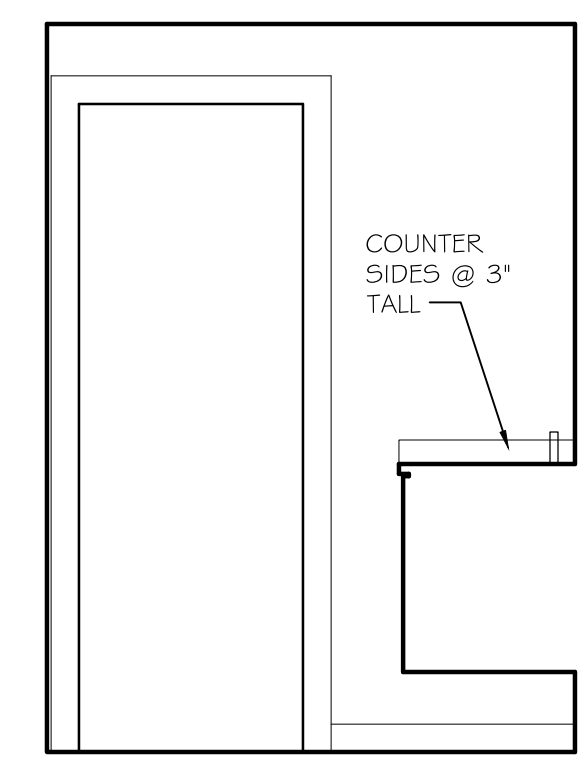
10-KID'S BATH #2
 SCALE: 1/2" = 1'-0"



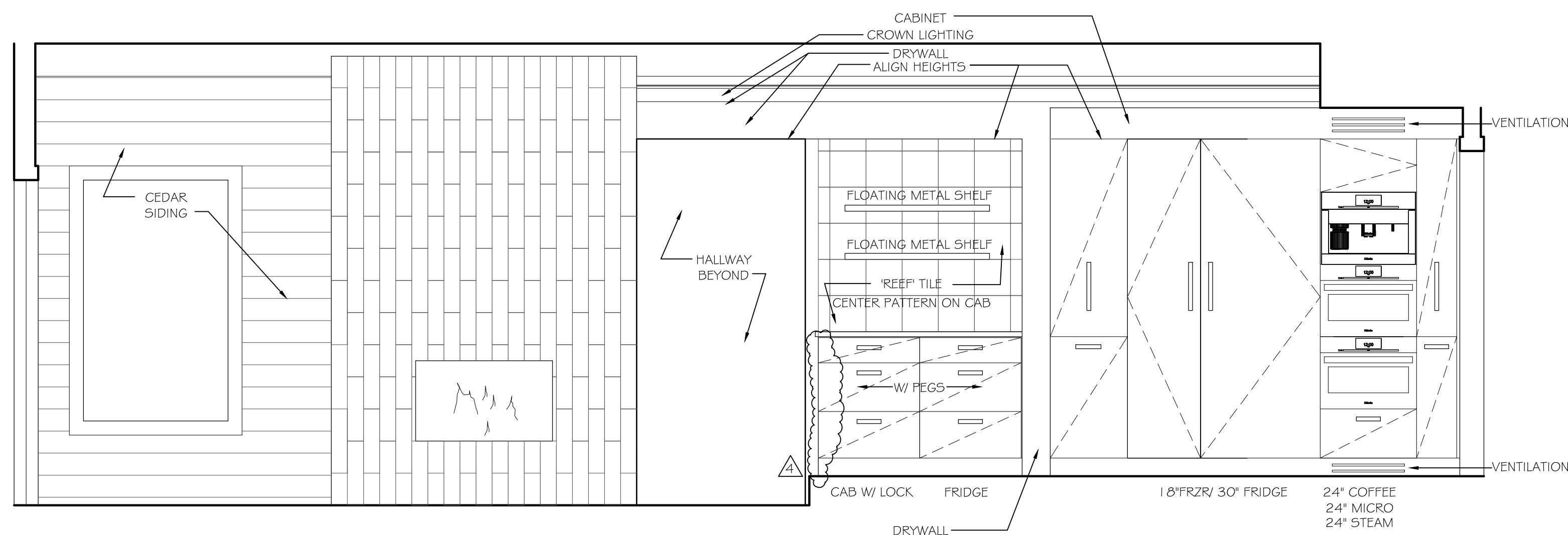
11-KID'S BATH #2
 SCALE: 1/2" = 1'-0"



12-KID'S BATH #2
 SCALE: 1/2" = 1'-0"

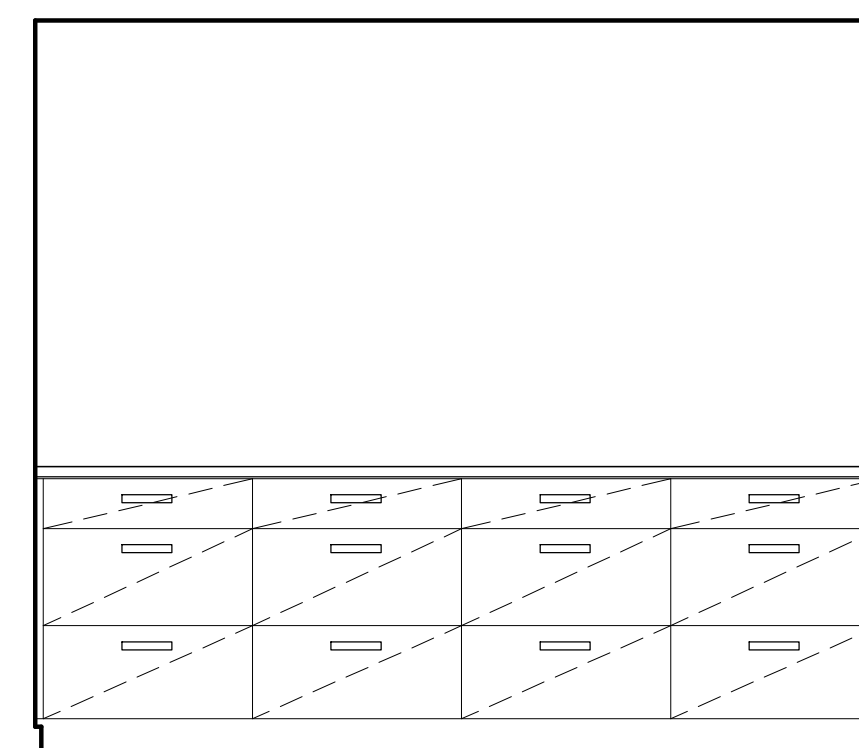


13-KID'S BATH #2
 SCALE: 1/2" = 1'-0"



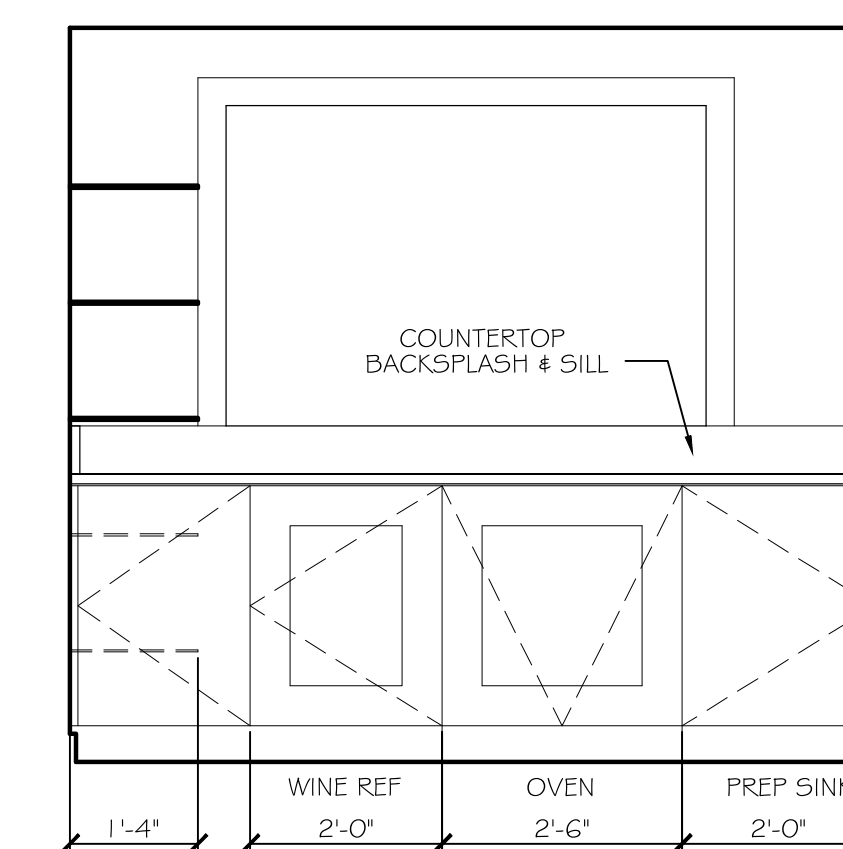
1-LIVING ROOM/ KITCHEN

SCALE: 1/2" = 1'-0"



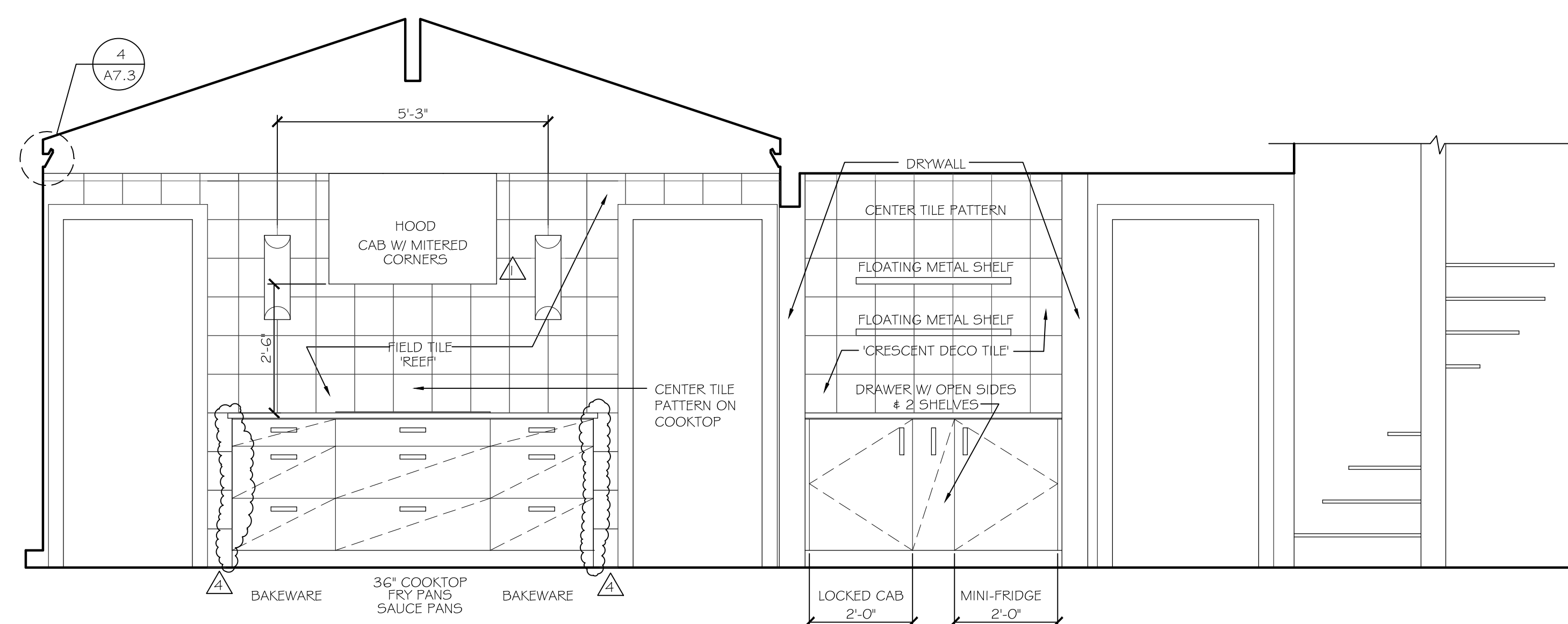
2-NOOK

SCALE: 1/2" = 1'-0"



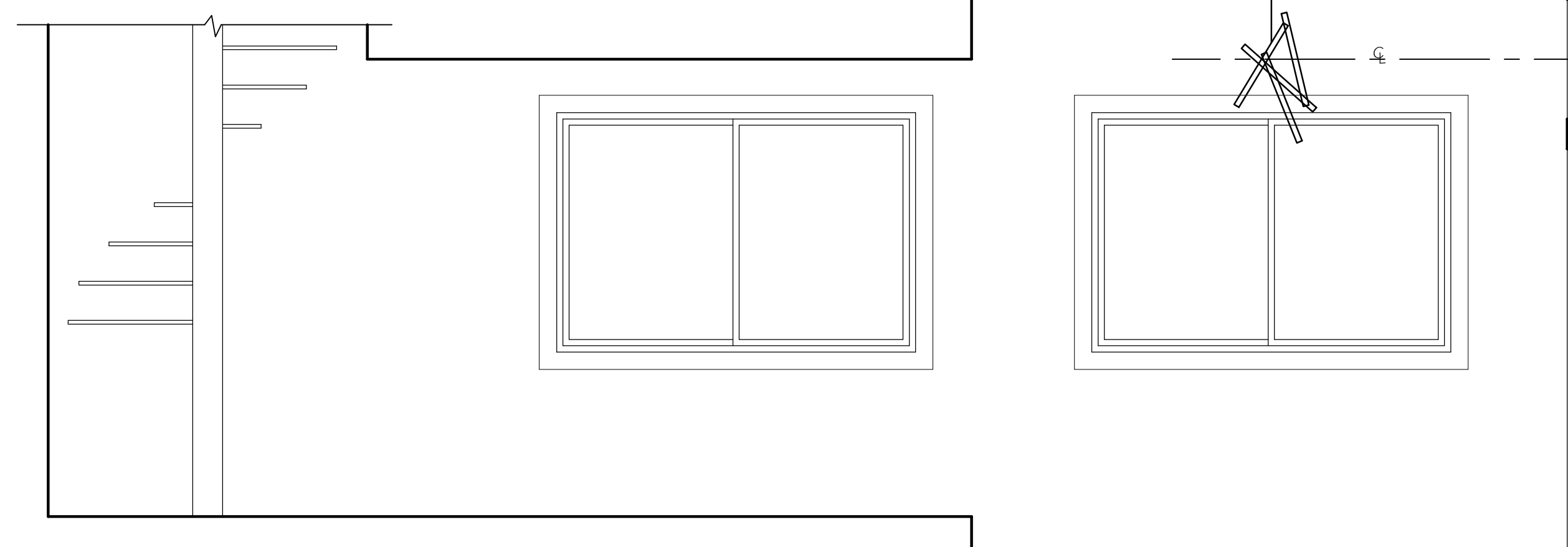
3-PANTRY

SCALE: 1/2" = 1'-0"



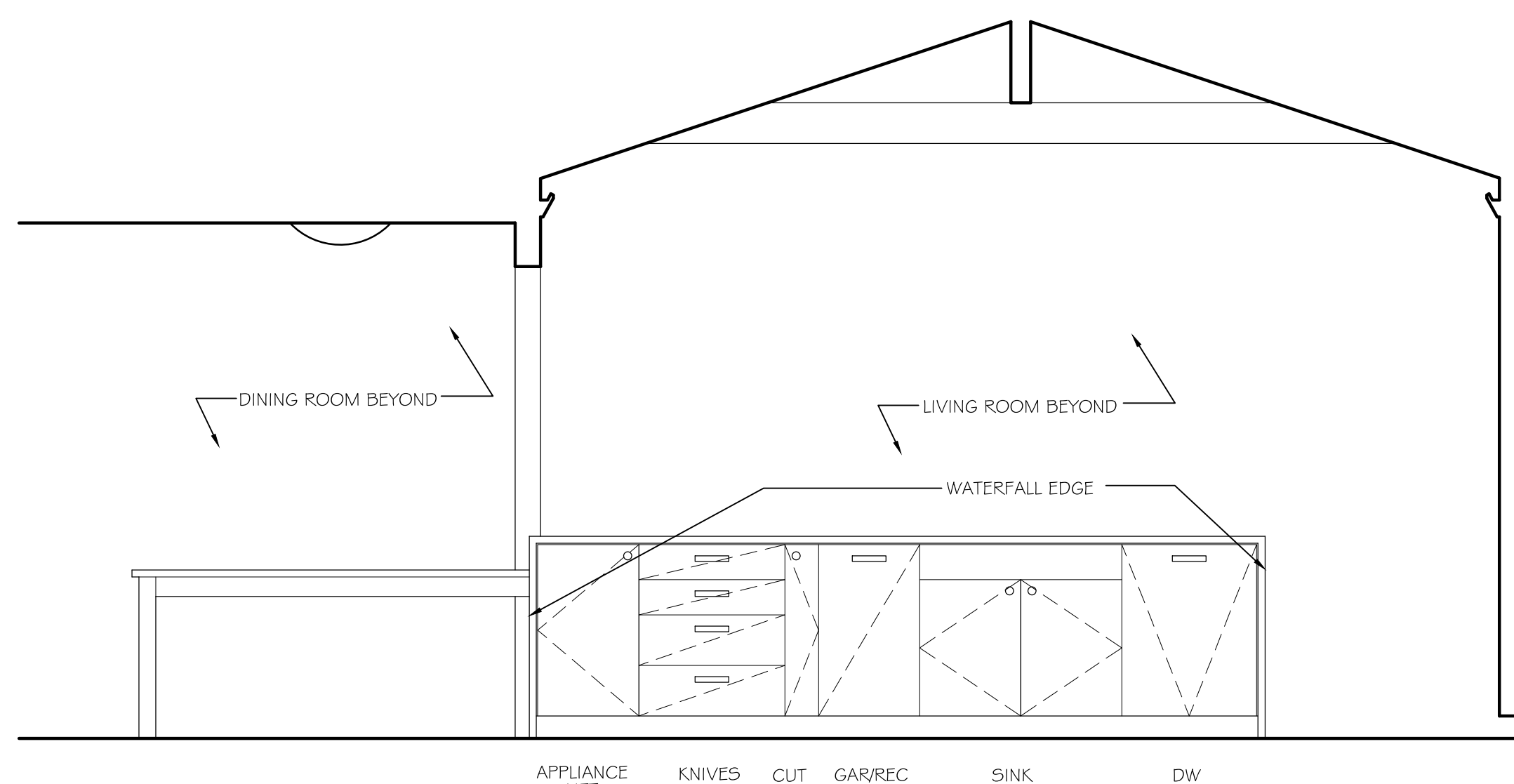
4-KITCHEN

SCALE: 1/2" = 1'-0"



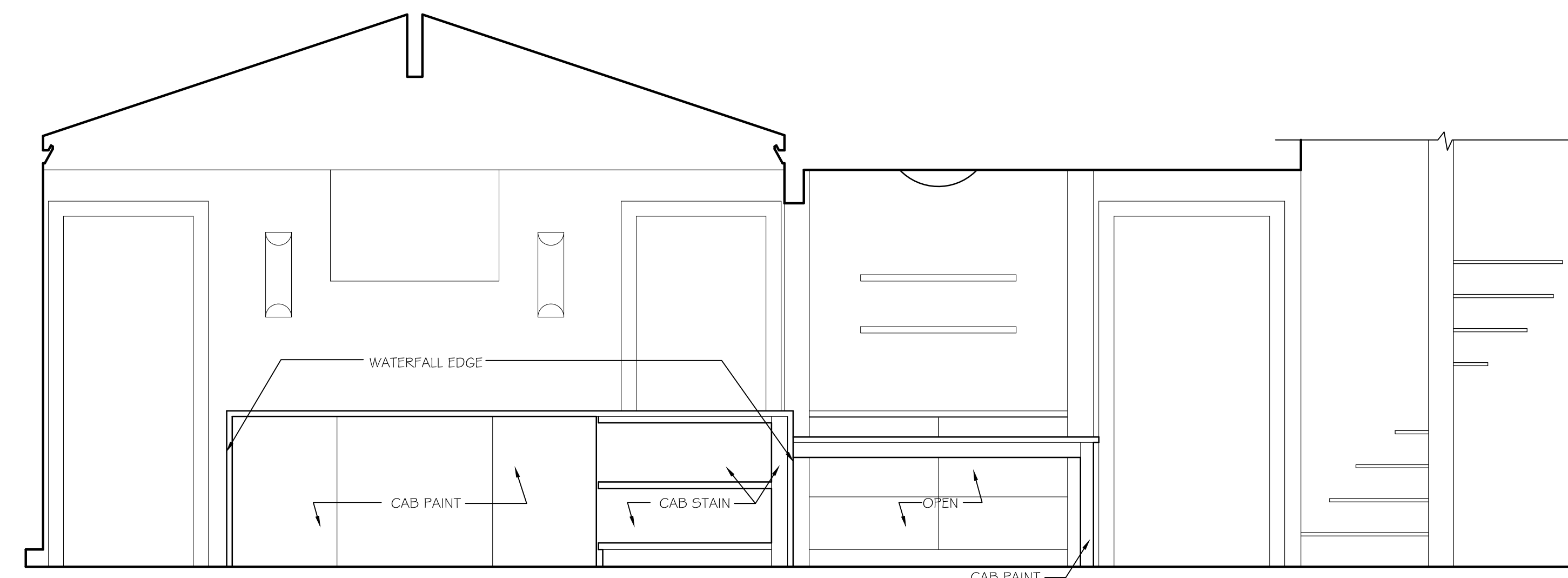
5-KITCHEN/ DINING RM

SCALE: 1/2" = 1'-0"



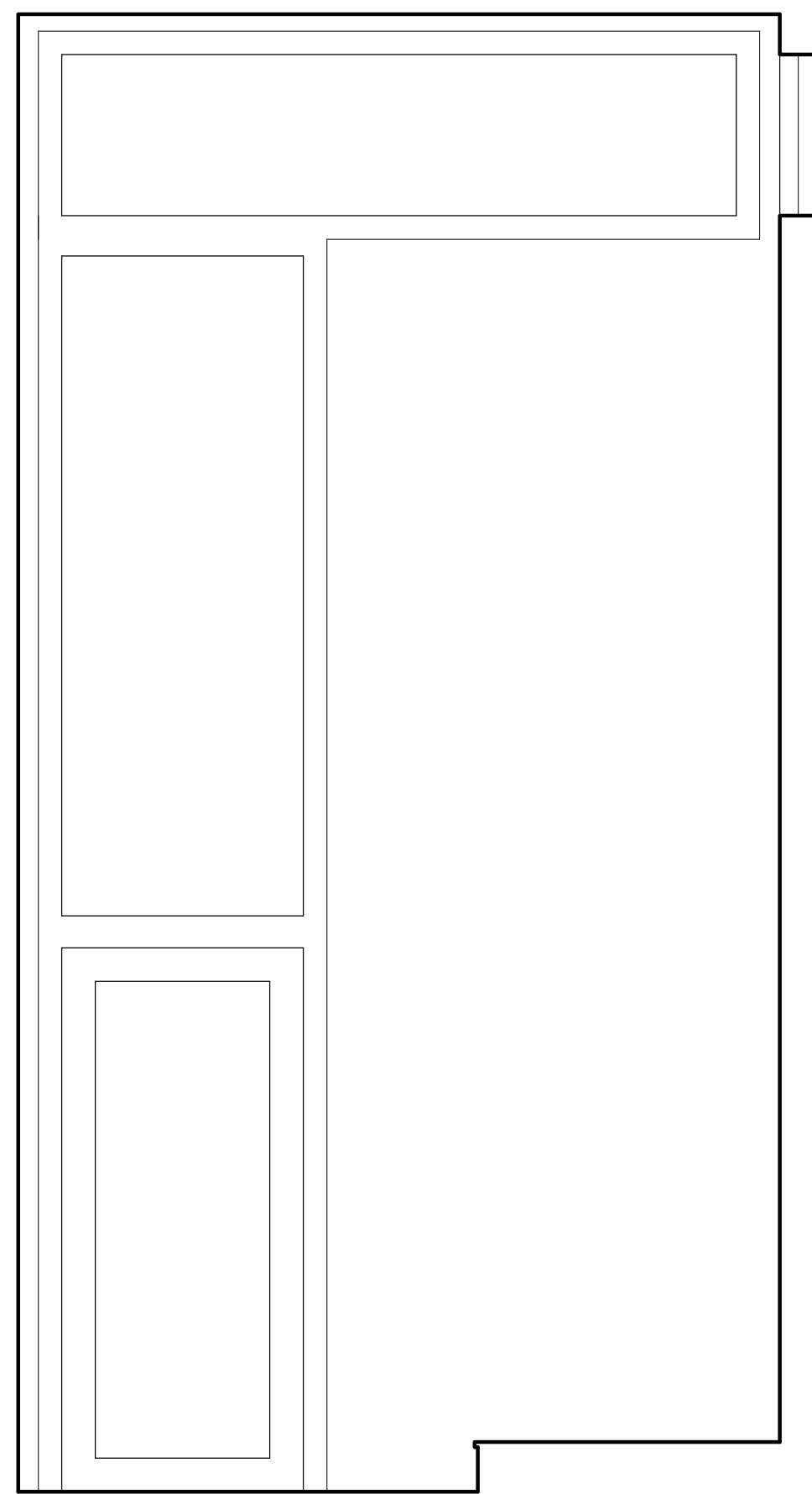
6-KITCHEN

SCALE: 1/2" = 1'-0"

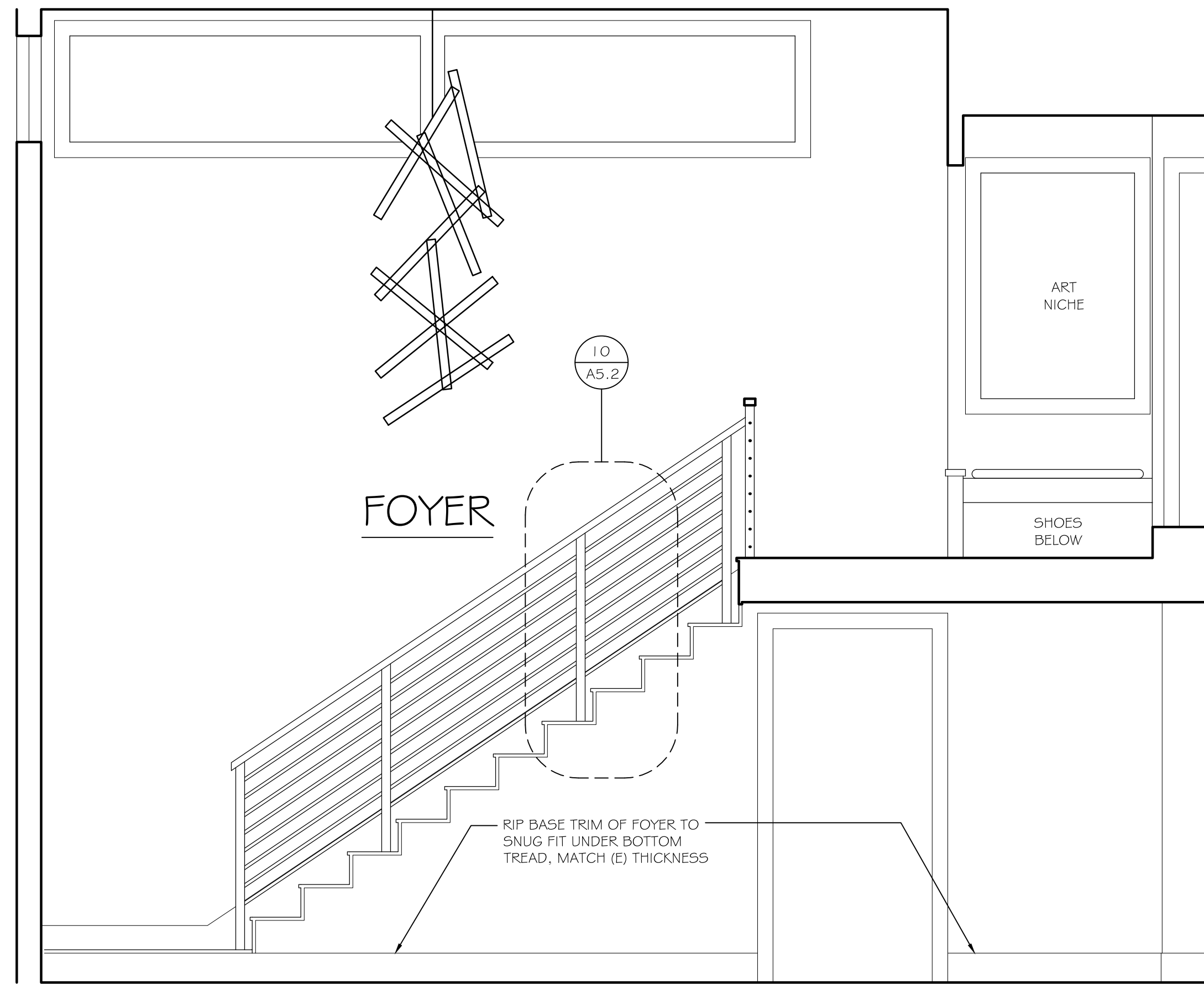


7-KITCHEN

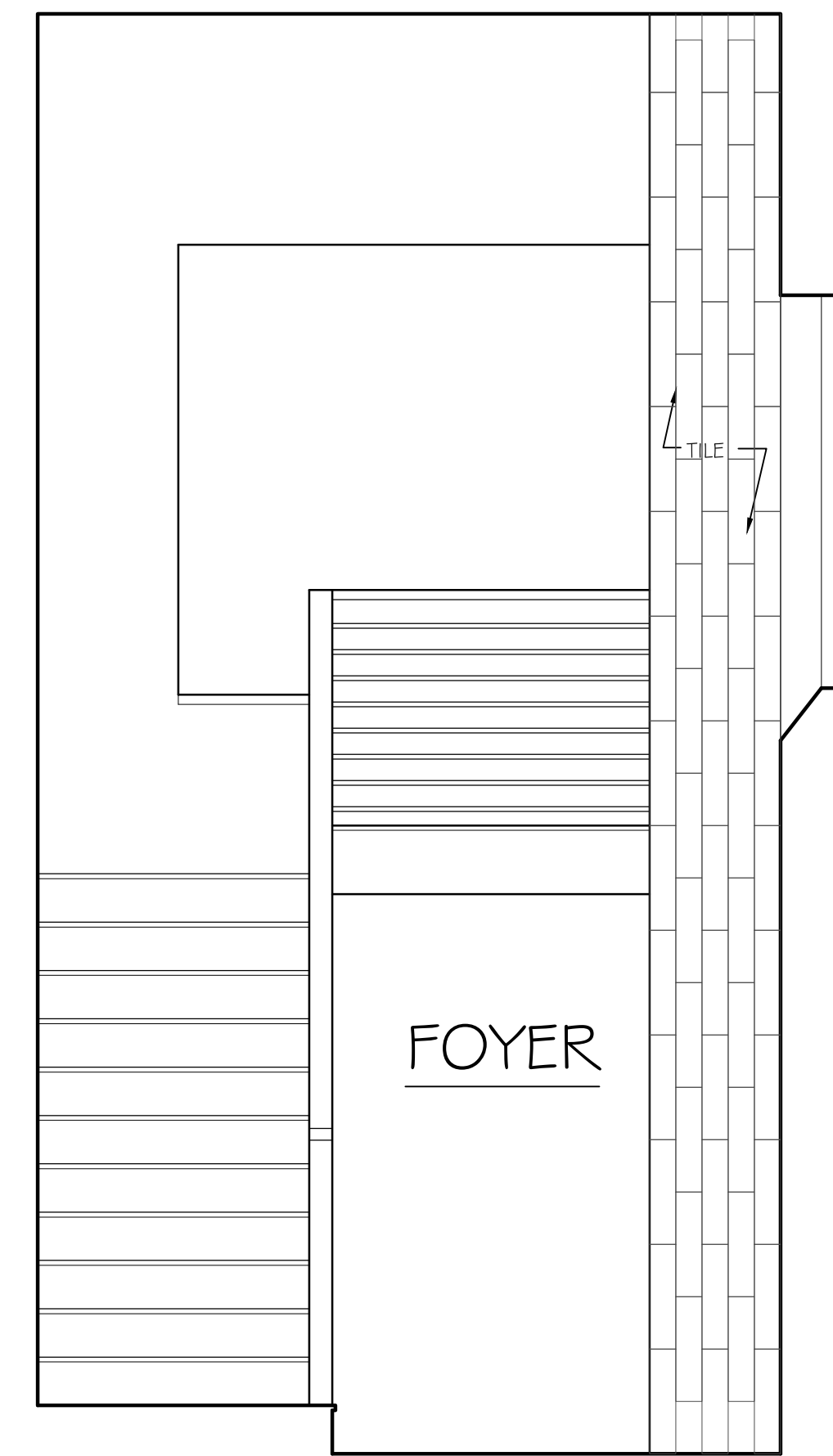
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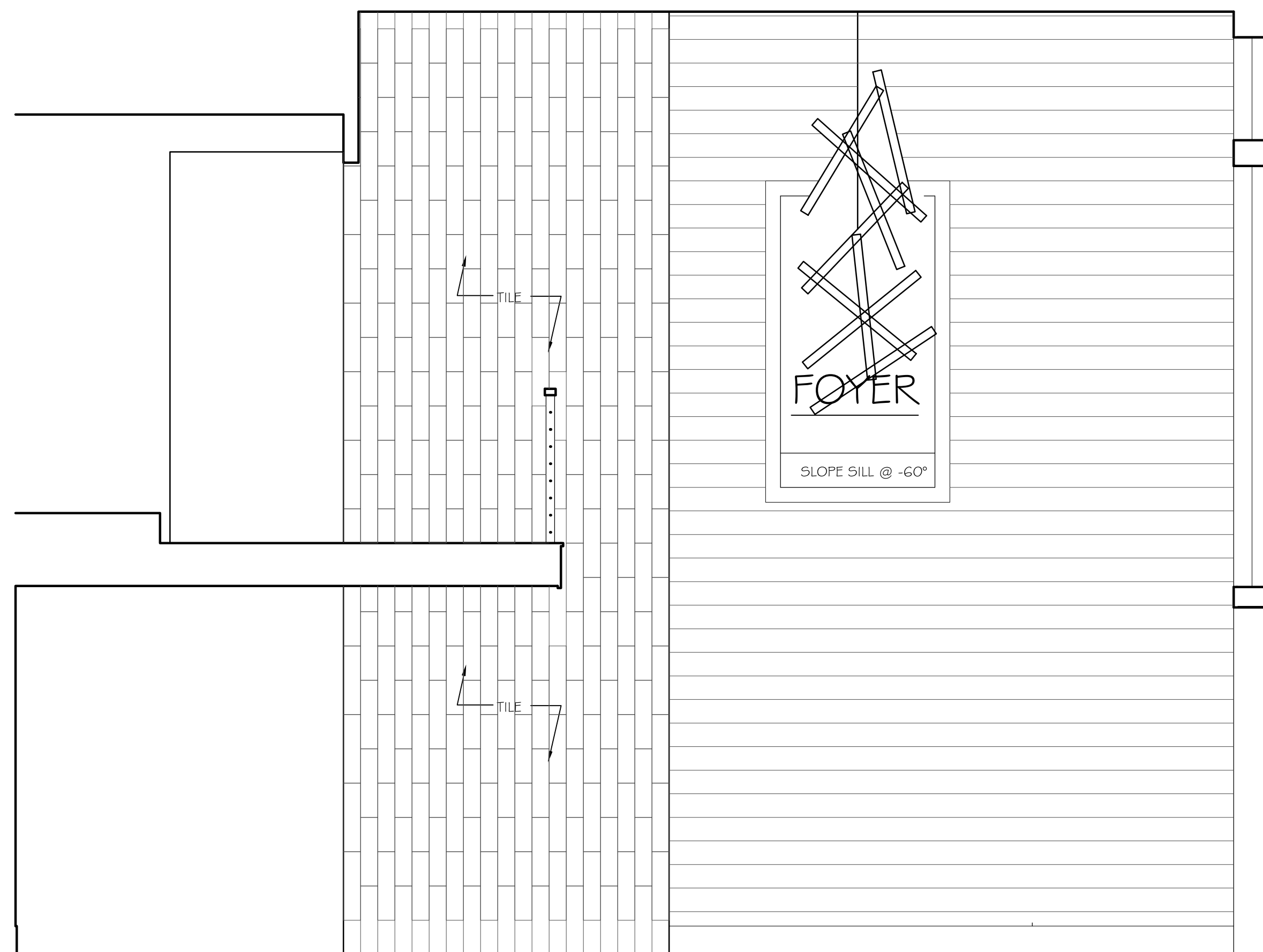
1-FOYER
SCALE: 1/2" = 1'-0"



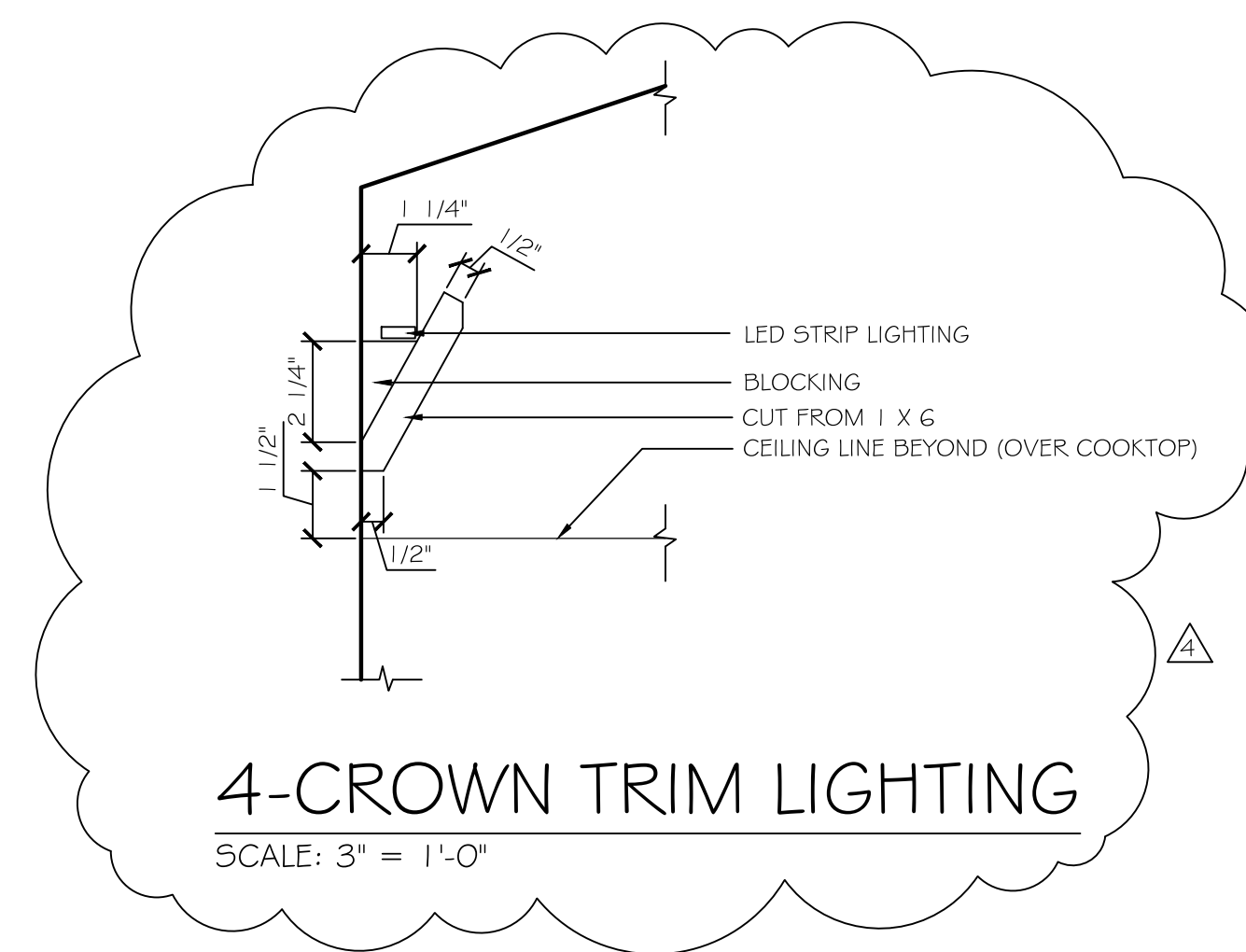
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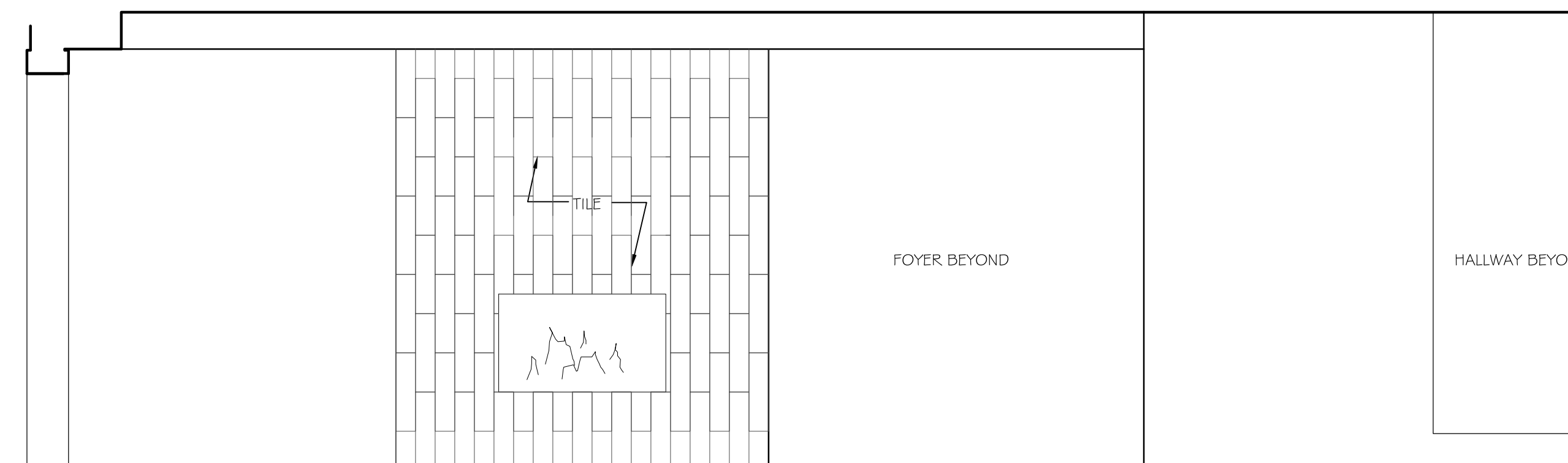
3-FOYER
SCALE: 1/2" = 1'-0"



5-FOYER
SCALE: 1/2" = 1'-0"



4-CROWN TRIM LIGHTING
SCALE: 3" = 1'-0"



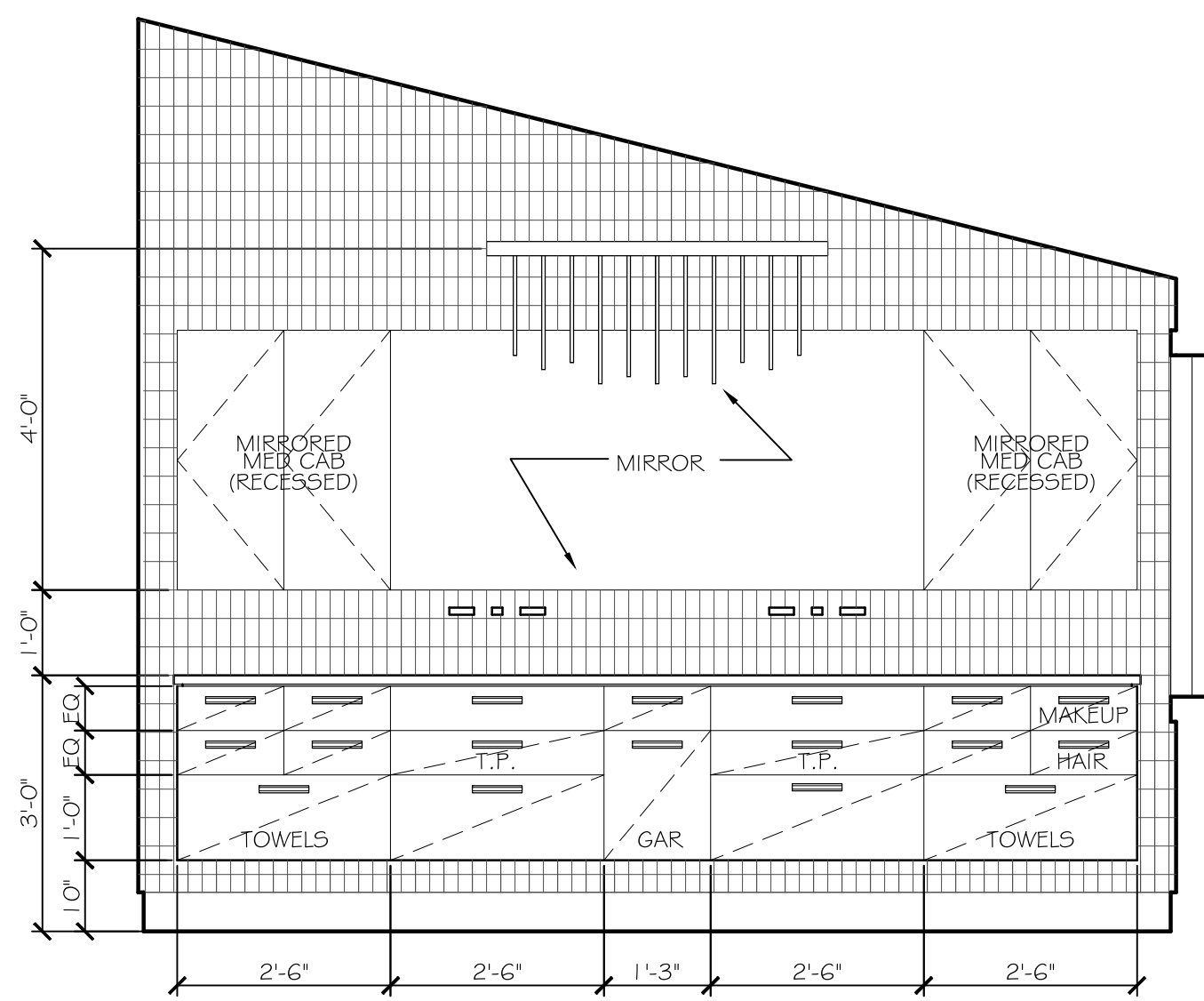
6-BONUS ROOM
SCALE: 1/2" = 1'-0"

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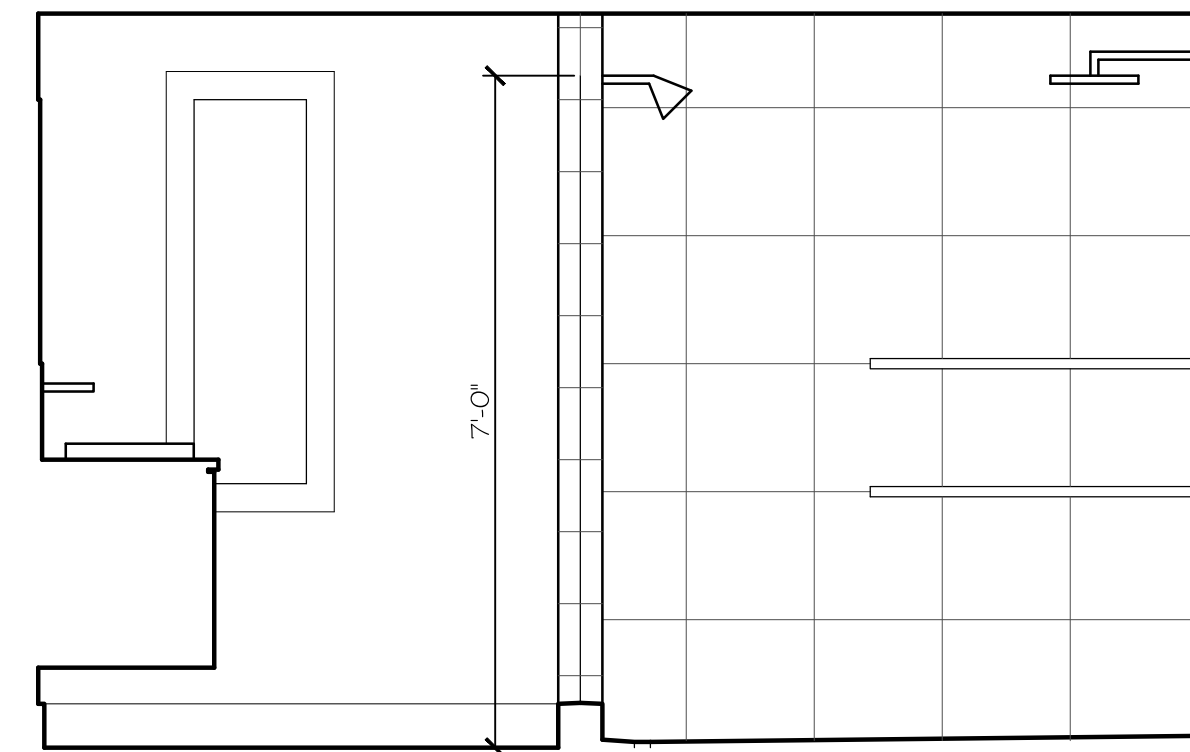
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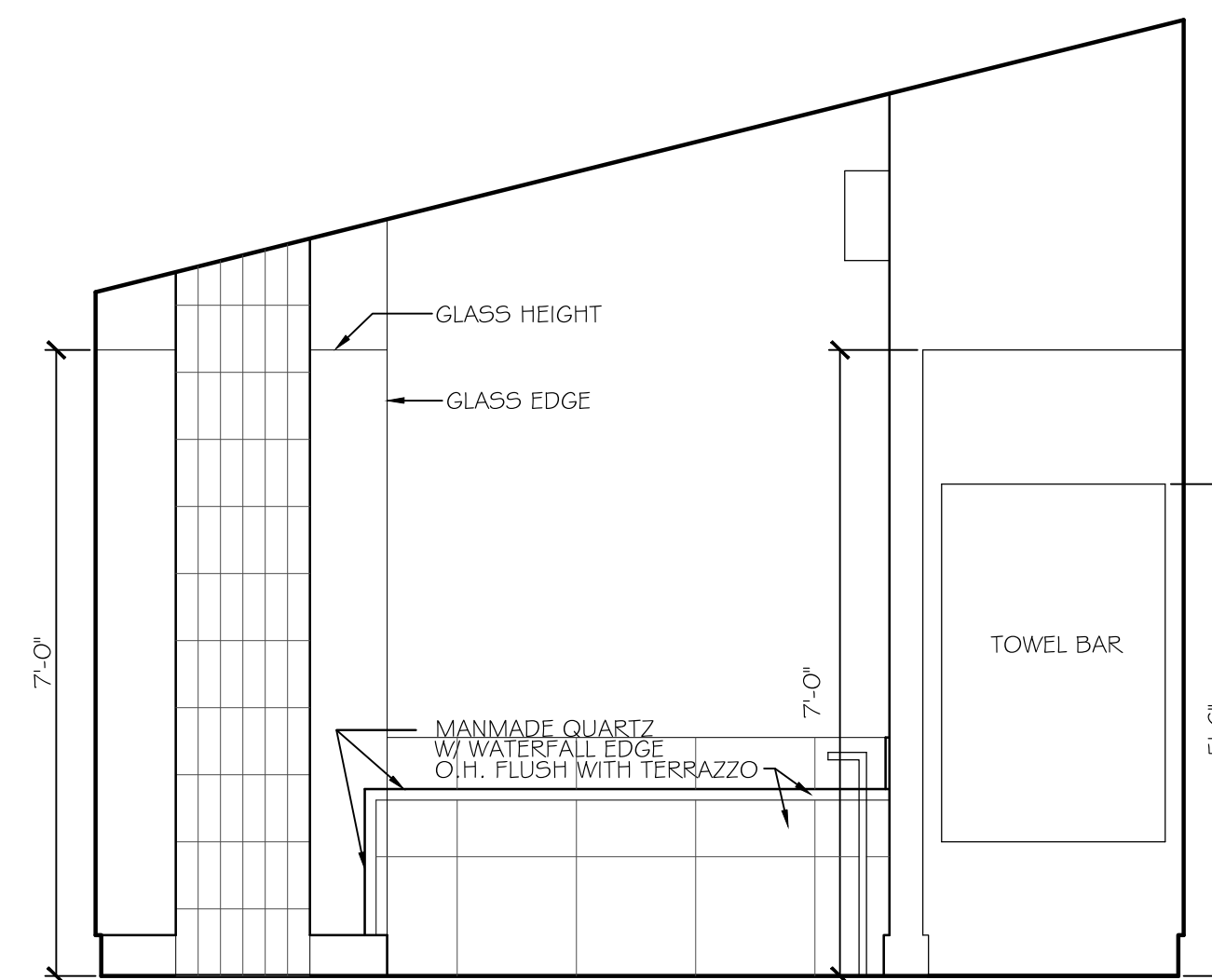
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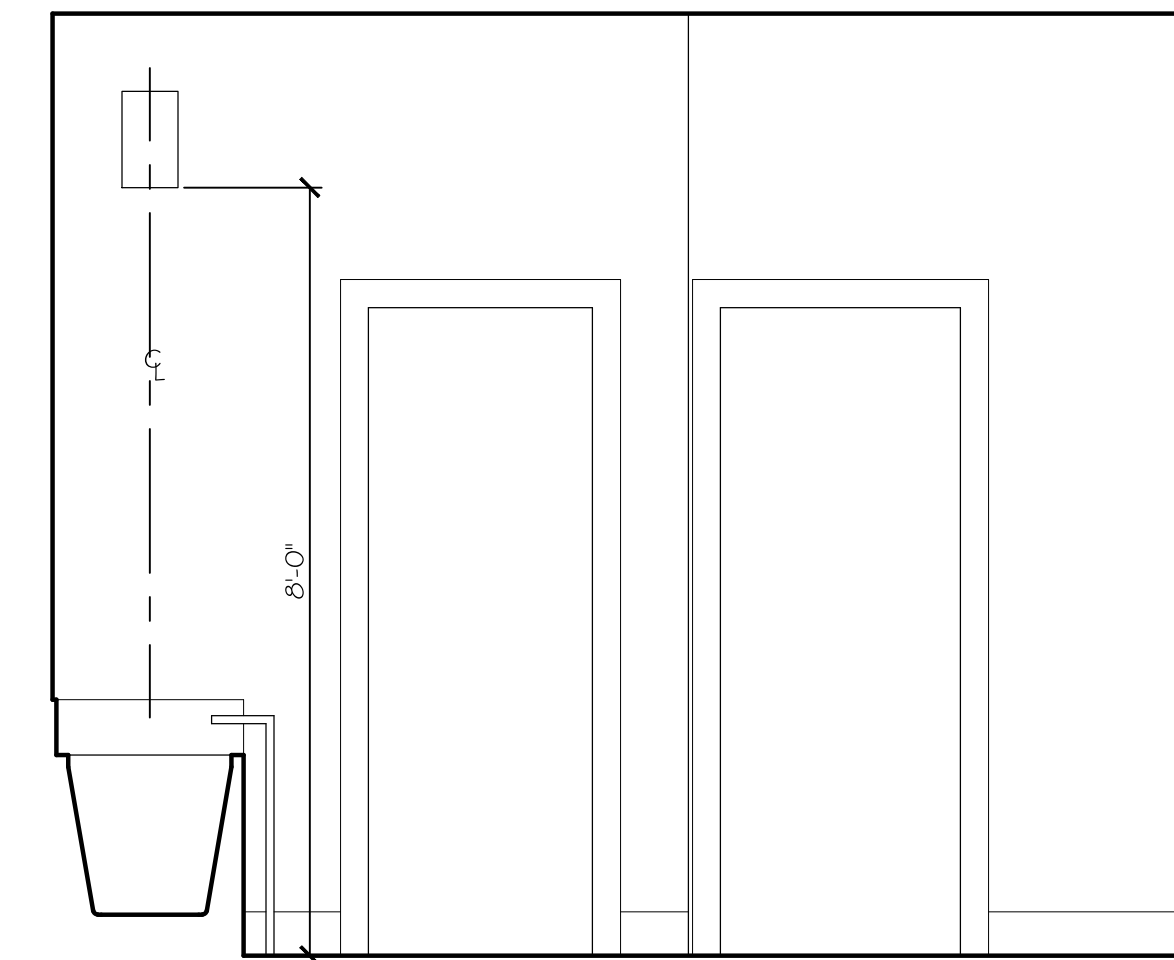
1-MASTER BATH
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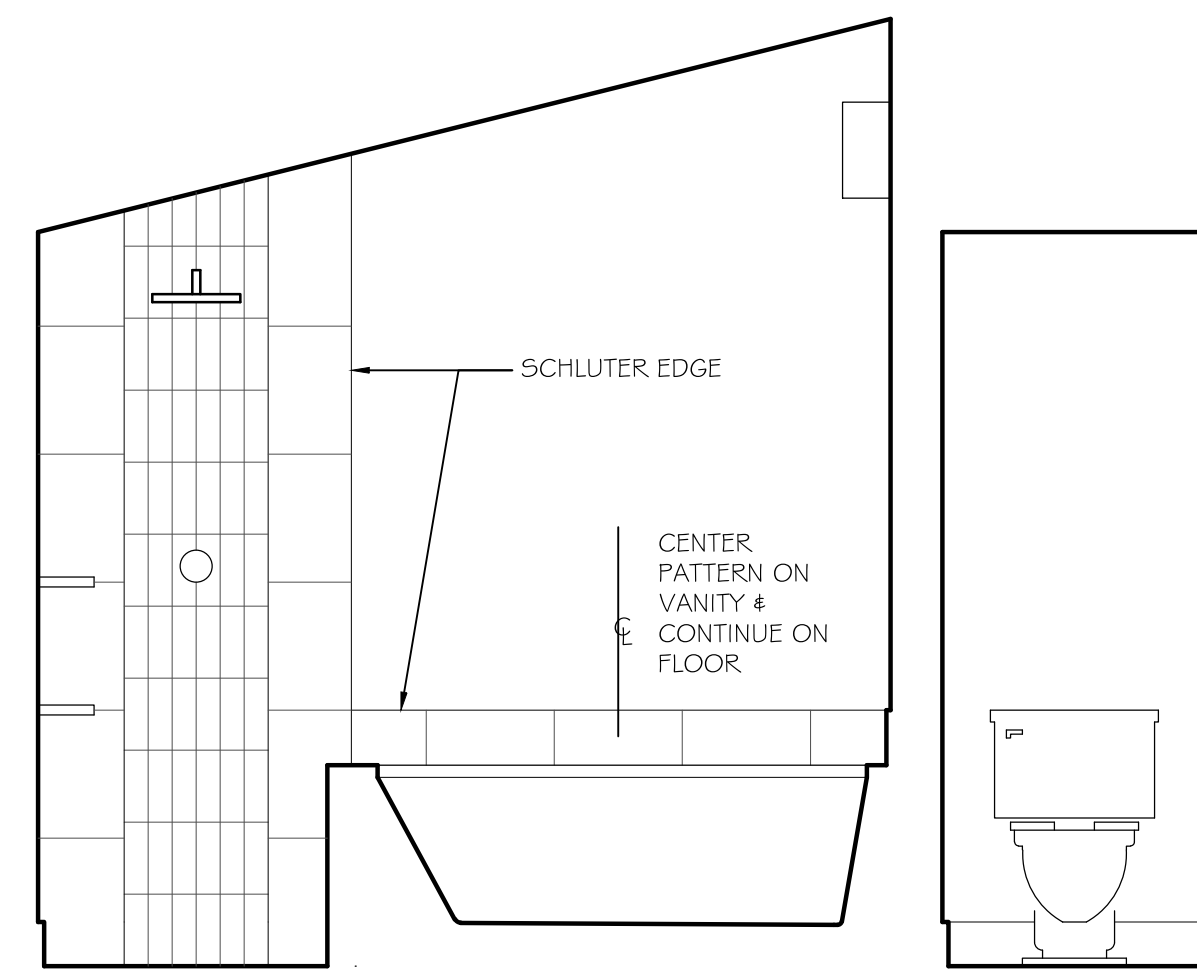
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 SCALE: 1/2" = 1'-0"



3-MASTER BATH
 SCALE: 1/2" = 1'-0"



4-MASTER BATH
 SCALE: 1/2" = 1'-0"



5-MASTER BATH
 SCALE: 1/2" = 1'-0"

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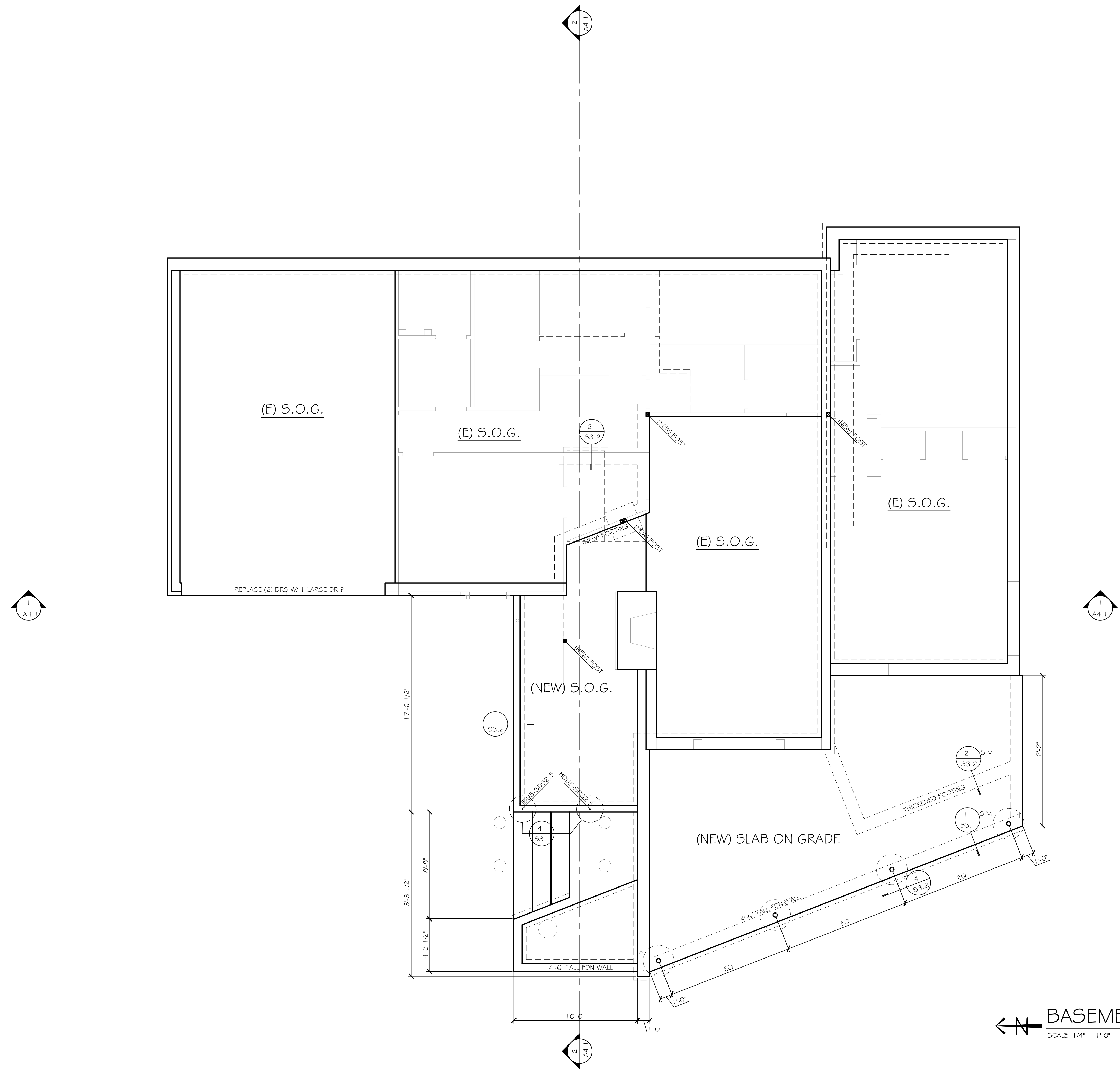
DRAWING TITLE
**A7.4
 INT.ELEVS**

FRAMING NOTES

- 1. SEE SHEET S1.1 FOR STRUCTURAL PLAN NOTES.
- [XX] FOOTING PER 3/53.2
- [PI-X] INDICATES SHEAR WALL BELOW PER 1/53.1
- PT LOAD - SOLID BLOCKING THRU FLOOR, MATCH POST SIZE ABOVE

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← **BASEMENT FLOOR FRAMING PLAN**
SCALE: 1/4" = 1'-0"

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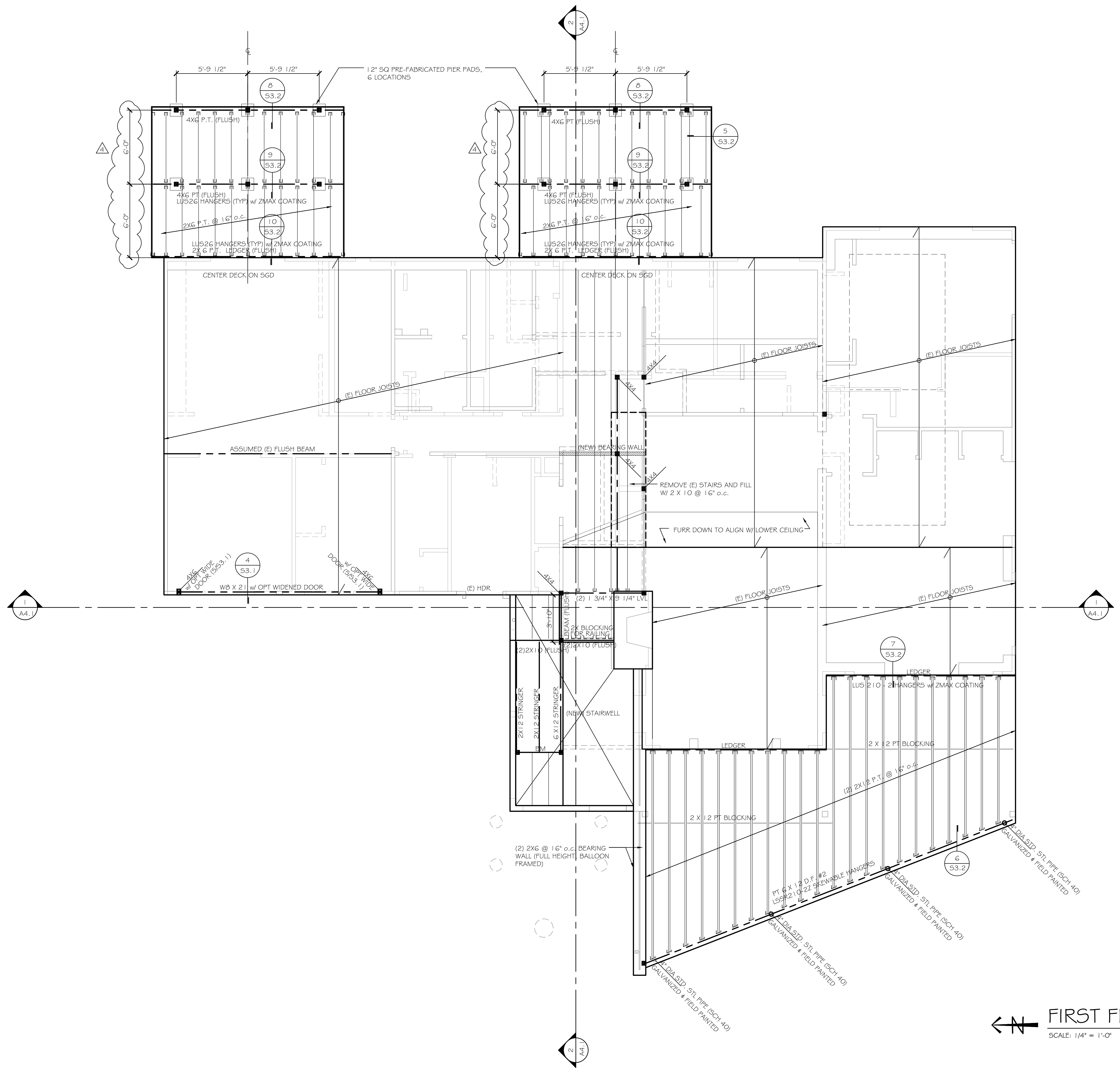
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△ 8-22-19, V.E., ADD KID BATH2

DRAWING TITLE
S2.1
BASEMENT



FRAMING NOTES

- 1. SEE SHEET S1.1 FOR STRUCTURAL PLAN NOTES.
- PI-X INDICATES SHEAR WALL BELOW PER 1/53.1
- PT LOAD - SOLID BLOCKING THRU FLOOR, MATCH POST SIZE ABOVE.

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CLEARY DESIGN STUDIO, LLC
 130 105th Ave SE #301
 Bellevue, WA 98004
 425.442.6788

PROJECT NAME:
 MUNSON
 RESIDENCE

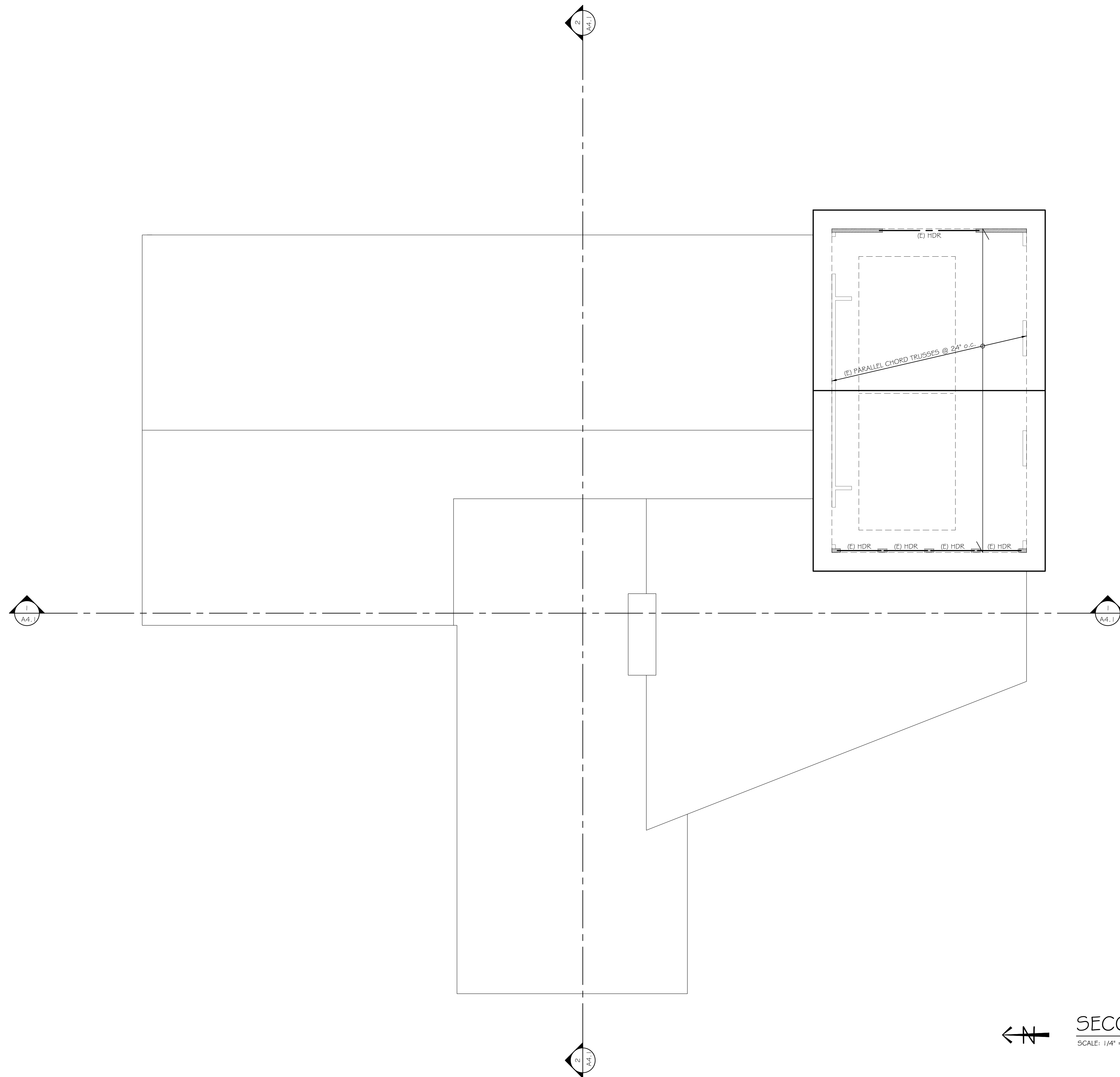
4628 Forest Avenue SE
 Mercer Island, WA 98040

DATE OF ISSUE:
 4-16-19

- REVISIONS:**
- △ 4-18-19, GARAGE DOOR REVISION
 - △ 6-28-19, SPECS & PRICING
 - △ 8-13-19, PERMIT REVIEW RESPONSES
 - △ 8-22-19, V.E., ADD KID BATH2

← **FIRST FLOOR FRAMING PLAN**
 SCALE: 1/4" = 1'-0"

DRAWING TITLE
 S2.2
 1ST FLR



FRAMING NOTES

1. SEE SHEET S1.1 FOR STRUCTURAL PLAN NOTES.

[P1-X] INDICATES SHEAR WALL BELOW PER 1/53.1

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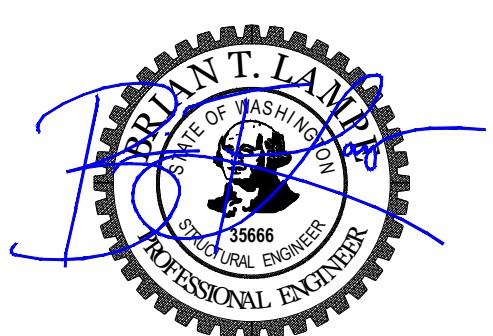
DATE OF ISSUE:
 4-16-19

REVISIONS:

△	4-18-19, GARAGE DOOR REVISION
△	6-28-19, SPECS 4 PRICING
△	8-13-19, PERMIT REVIEW RESPONSES
△	8-22-19, V.E., ADD KID BATH2

← N
SECOND FLR ROOF FRAMING
 SCALE: 1/4" = 1'-0"

DRAWING TITLE
**S2.4
 2ND FLR
 ROOF**

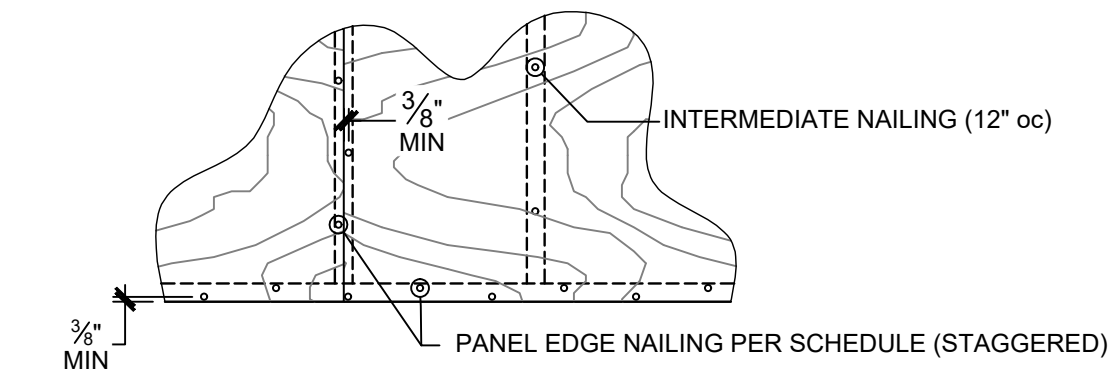


SHEAR WALL SCHEDULE (IN ACCORDANCE W/ ANSIAF&PA SDPWS-2015 SECTION 4.3)											
WALL TYPE	SHEATHING	PANEL EDGE NAILING	MINIMUM WIDTH OF NAILED FACE OF FRAMING @ ADJOINING PANEL EDGES		MUDSILL PLATE	FACE NAILING	FRAMING CLIPS	ANCHORAGE TO CONCRETE		SEISMIC CAPACITY h/b = 2 h/b = 3.5	WIND CAPACITY h/b = 2 h/b = 3.5
			SINGLE MEMBER	BUILT-UP MEMBER				ANCHOR BOLTS	MUDSILL ANCHORS		
P1-6	1 SIDE	6" oc	2x	2x	2x	6" oc	A35 @ 30" oc or LTP5 @ 26" oc	3/8" @ 48" oc	MASAP @ 48" oc	240-plf 194-plf	240-plf 194-plf
P1-4	1 SIDE	4" oc	2x	2x	2x	4" oc	A35 @ 20" oc or LTP5 @ 18" oc	3/8" @ 40" oc	MASAP @ 36" oc	350-plf 284-plf	490-plf 398-plf

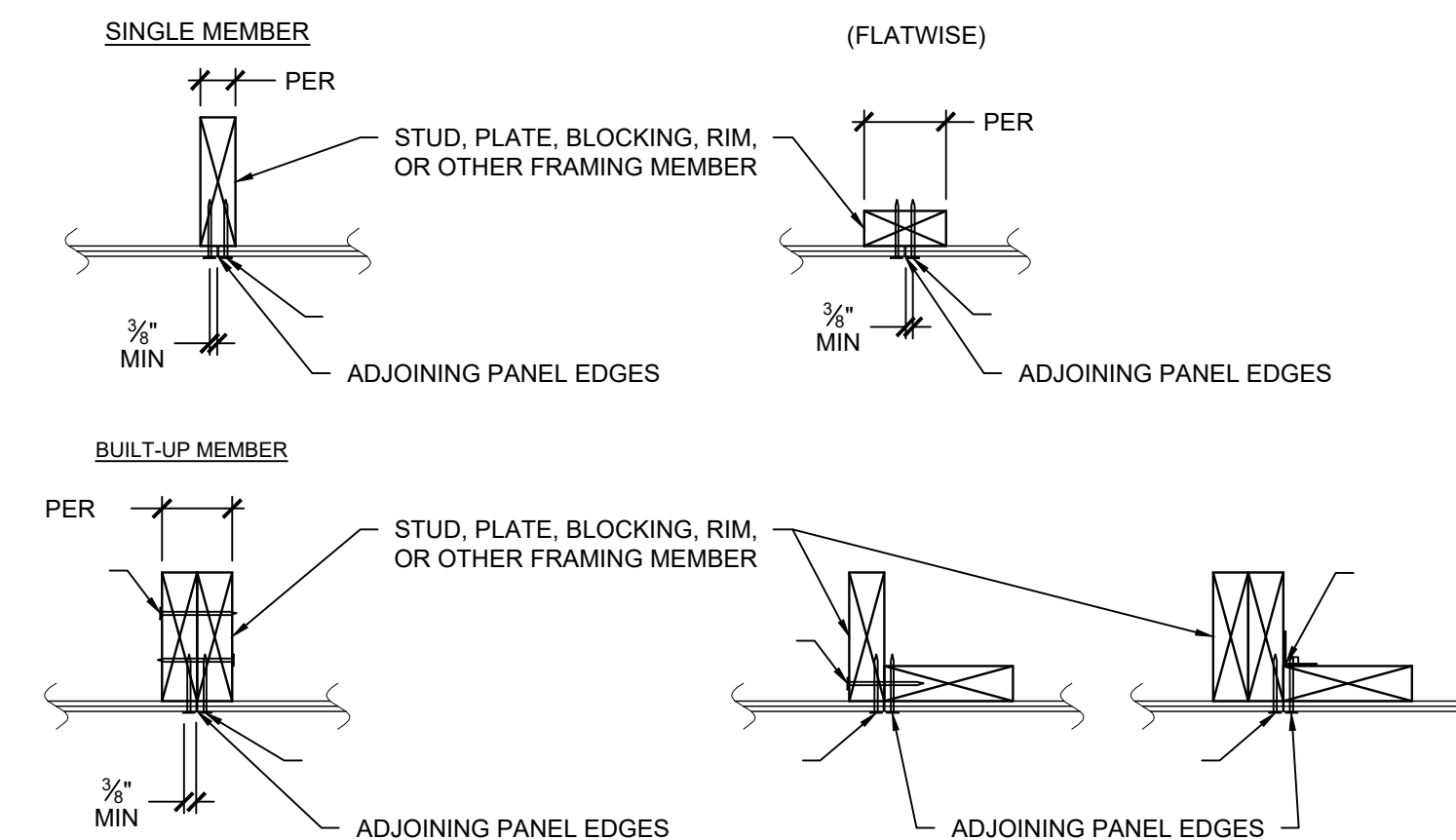
SHEAR WALL SCHEDULE NOTES

(SECTION 4.3.7.1.1)
1/8" OSB or 1/2" PLYWOOD SHEATHING OR SIDING EXCEPT GROUP 5 SPECIES. MINIMUM PANEL SPAN RATING OF (24/0). PANELS SHALL NOT BE LESS THAN 4'x8', EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.

(SECTION 4.3.7.1.2 & SECTION 4.3.7.1.3)
PANEL EDGE NAILING APPLIES TO ALL SHEATHING PANEL EDGES. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH SHEATHING NAILS @ 12" oc. MAXIMUM STUD SPACING SHALL BE 16" oc. SHEATHING NAILS SHALL BE 0.131" x 2 1/2". PLYWOOD EDGE NAILING SHALL BE STAGGERED. NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE PANEL EDGES.

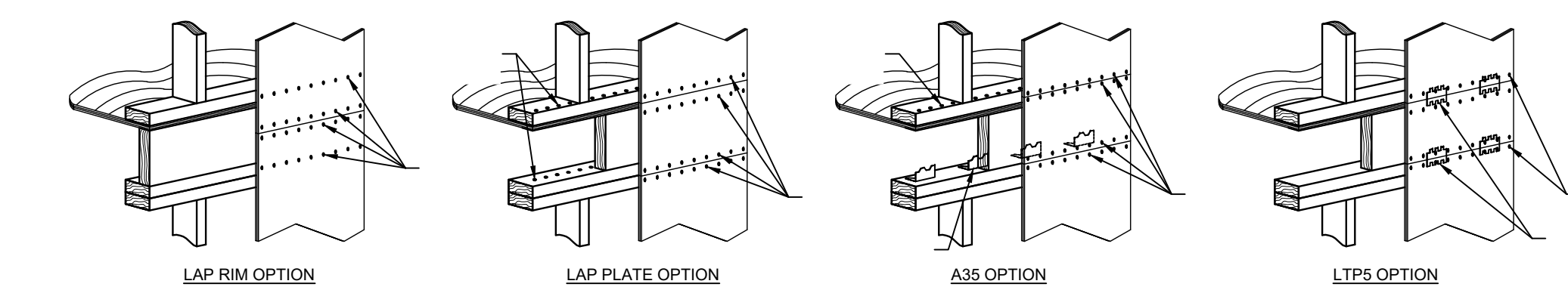


(SECTION 4.3.7.1.4)
THE MINIMUM NOMINAL WIDTH OF THE NAILED FACE OF FRAMING AND BLOCKING AT ADJOINING PANEL EDGES SHALL BE AS INDICATED IN THE SCHEDULE.

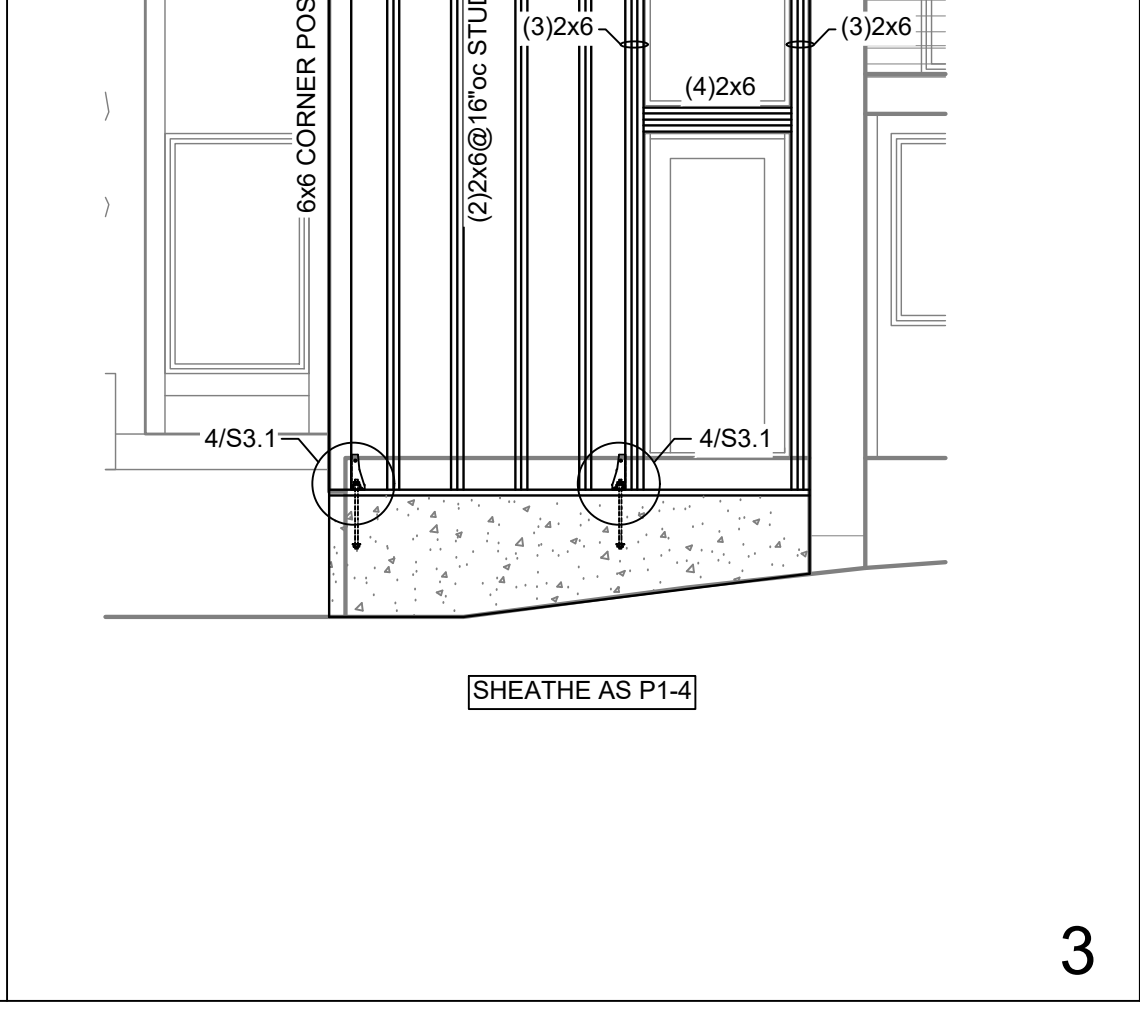
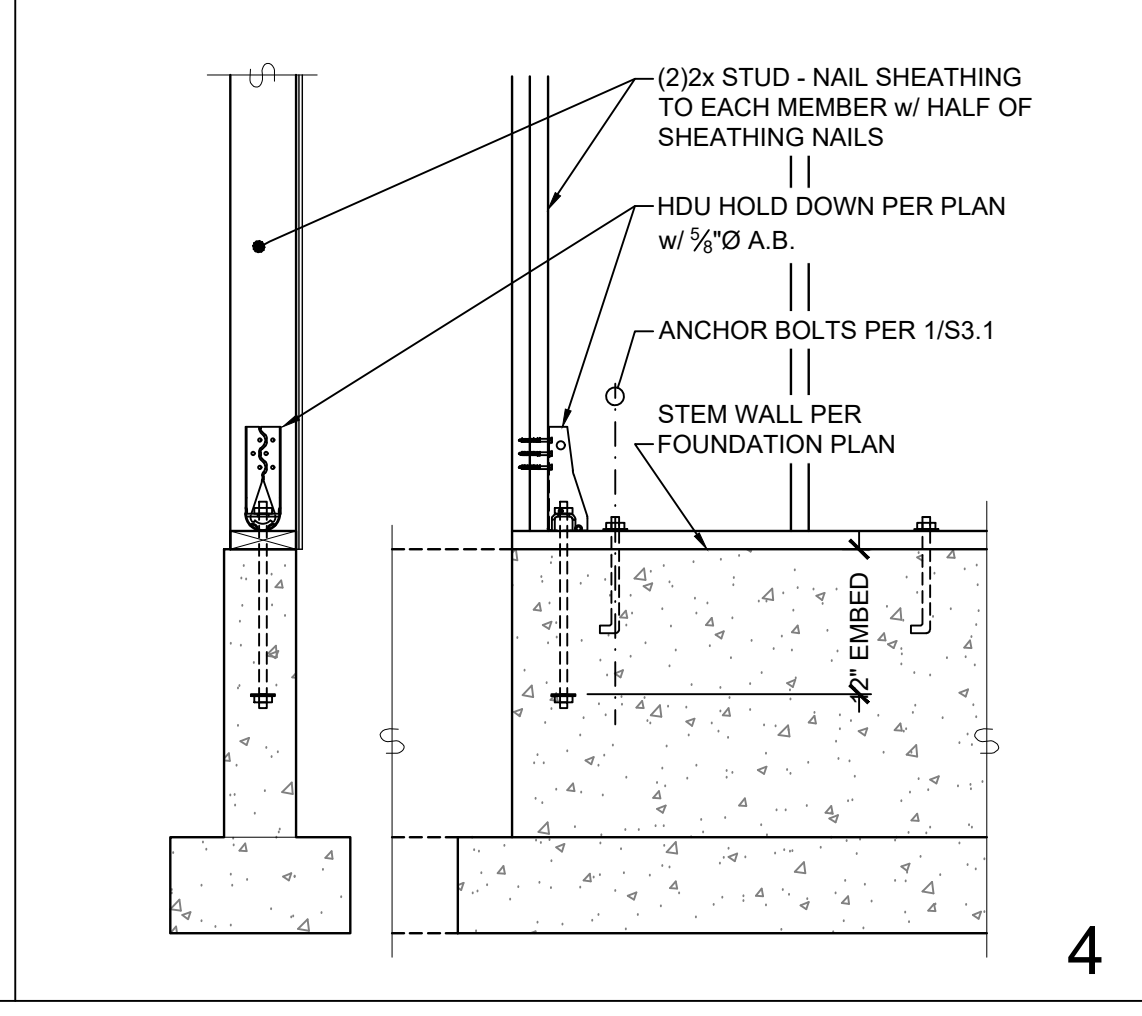
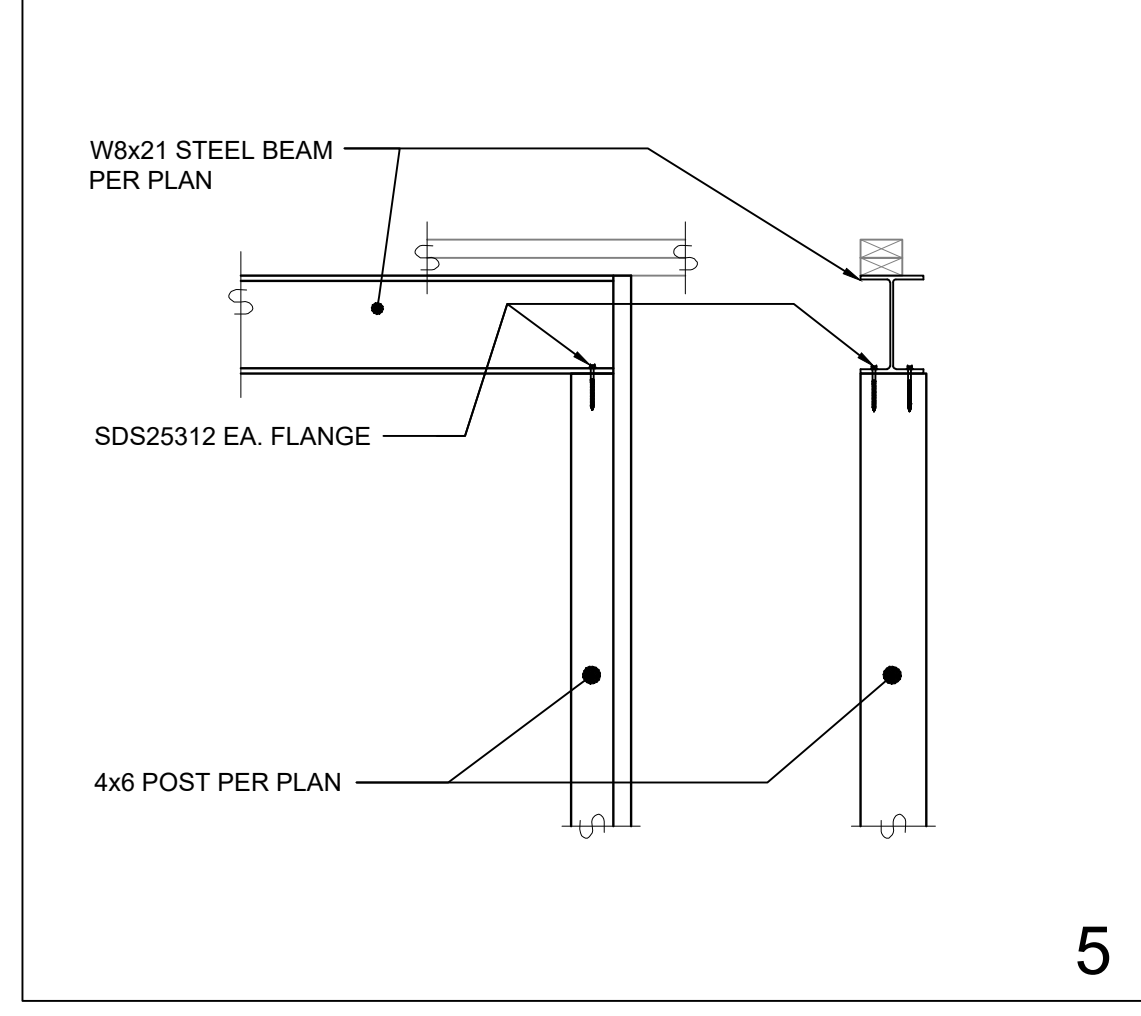
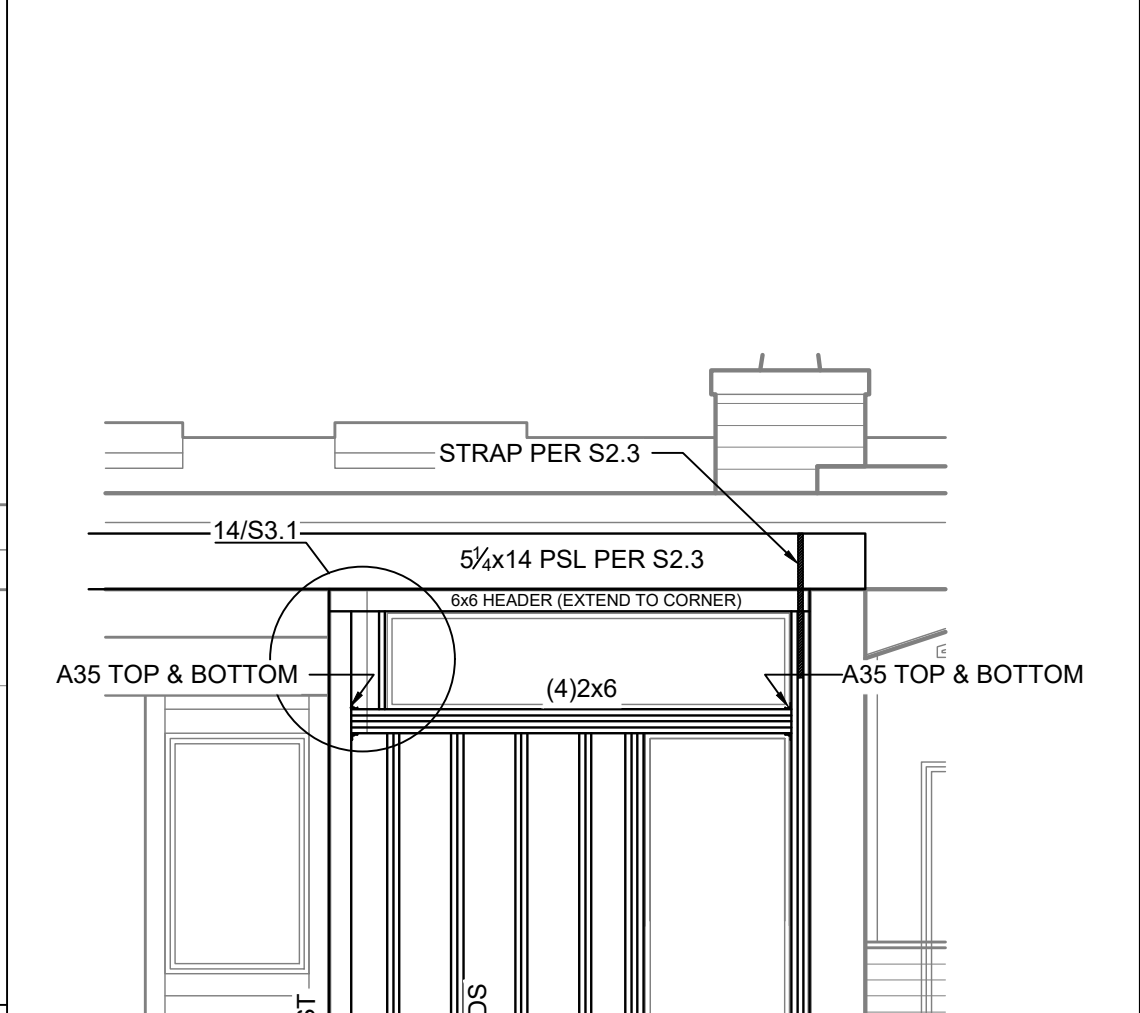
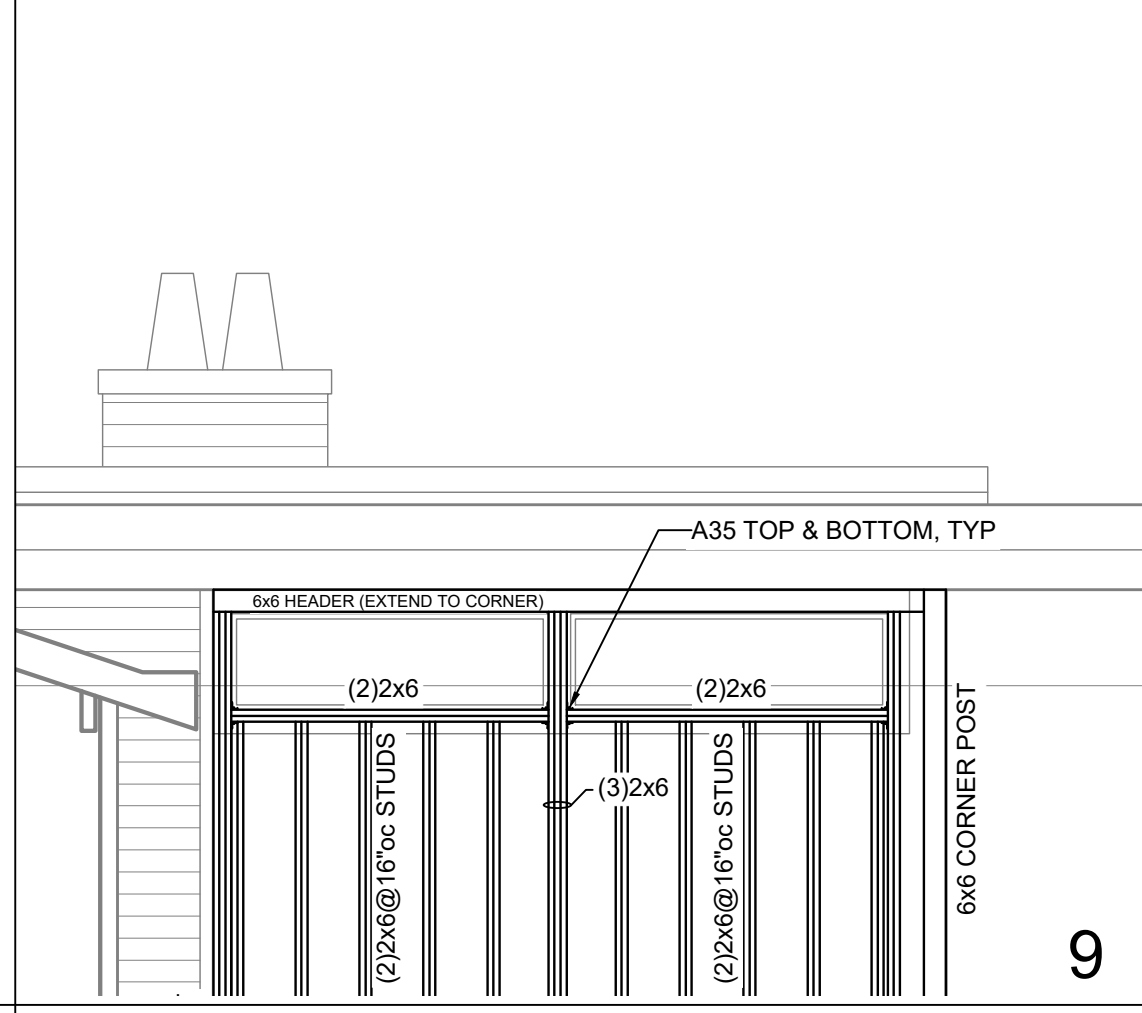
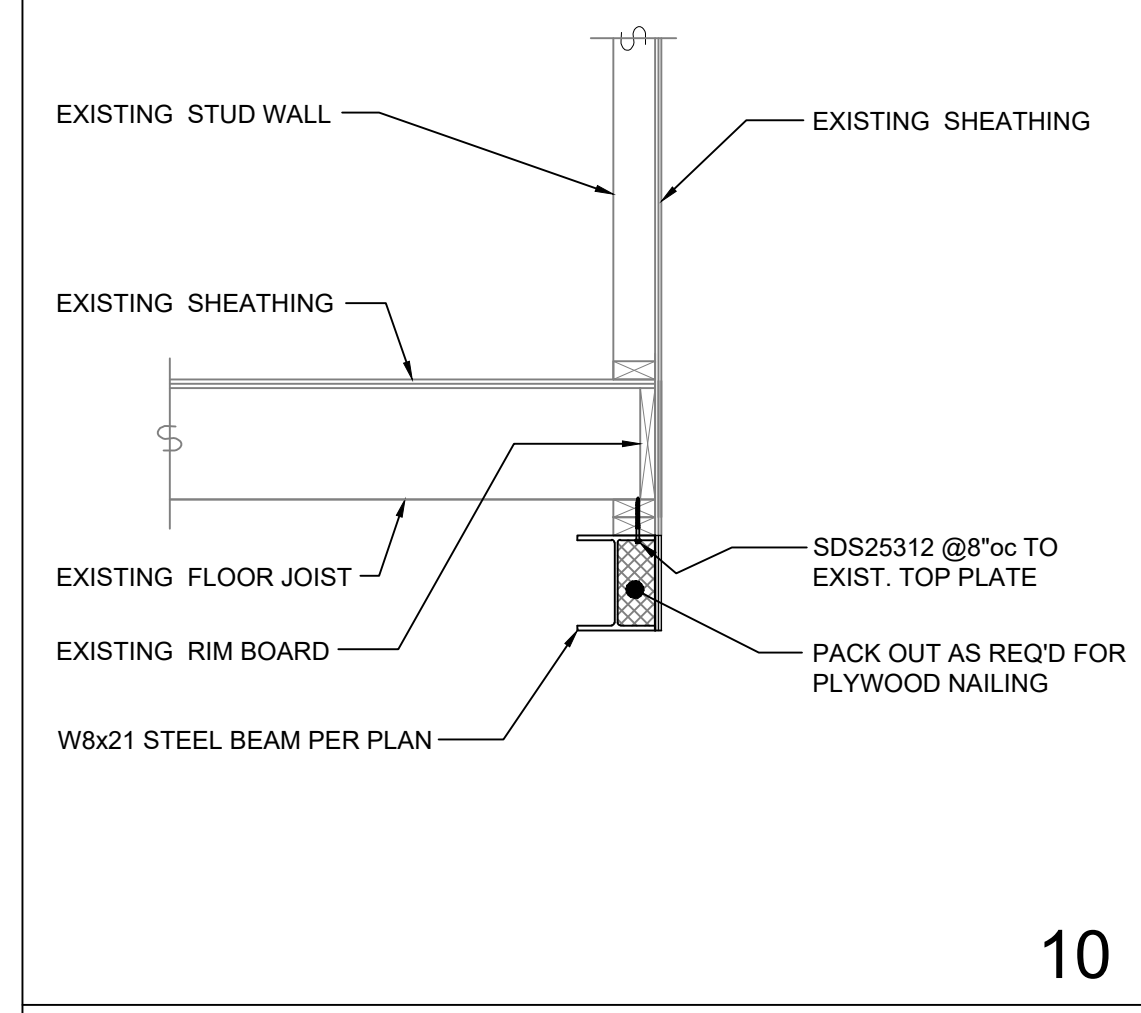
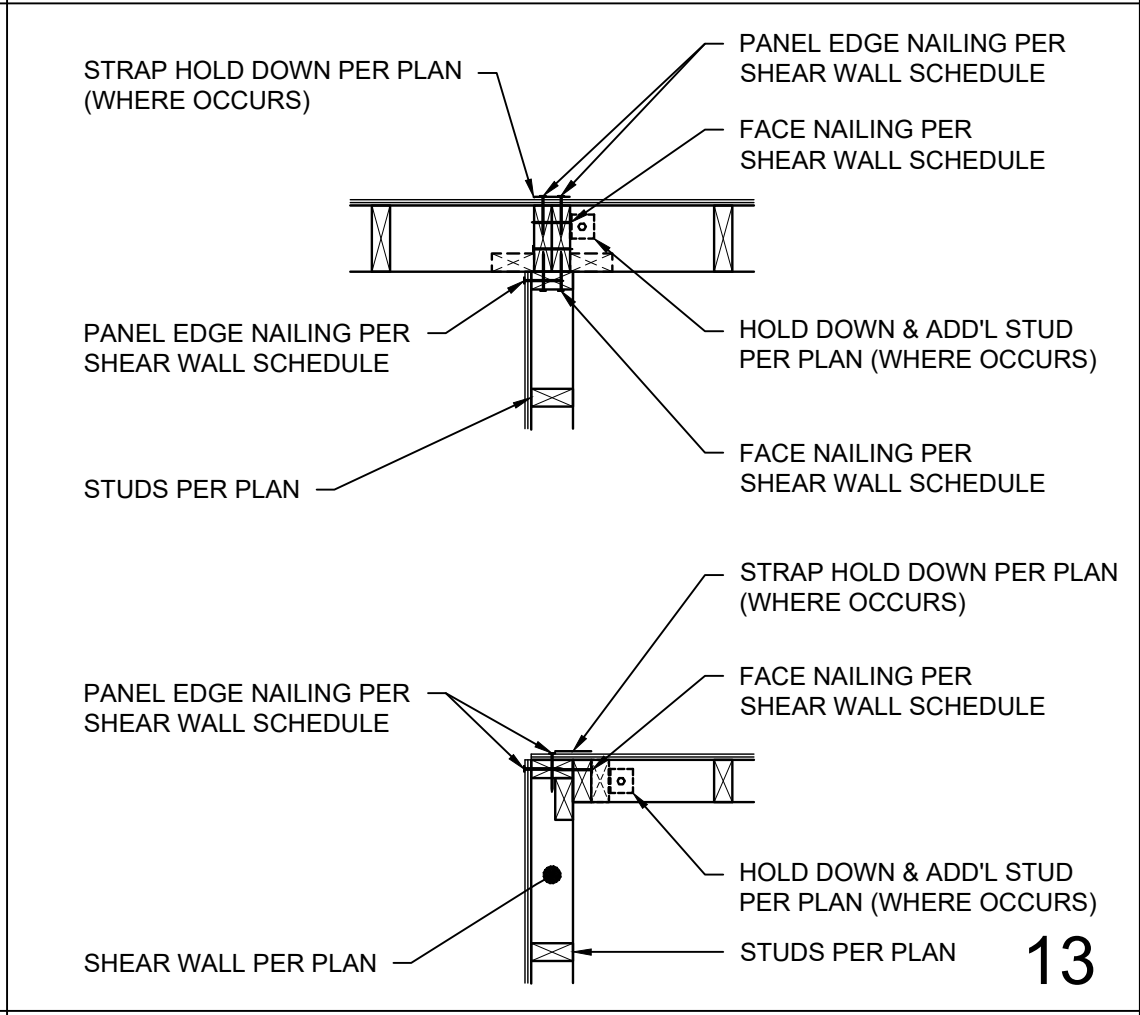
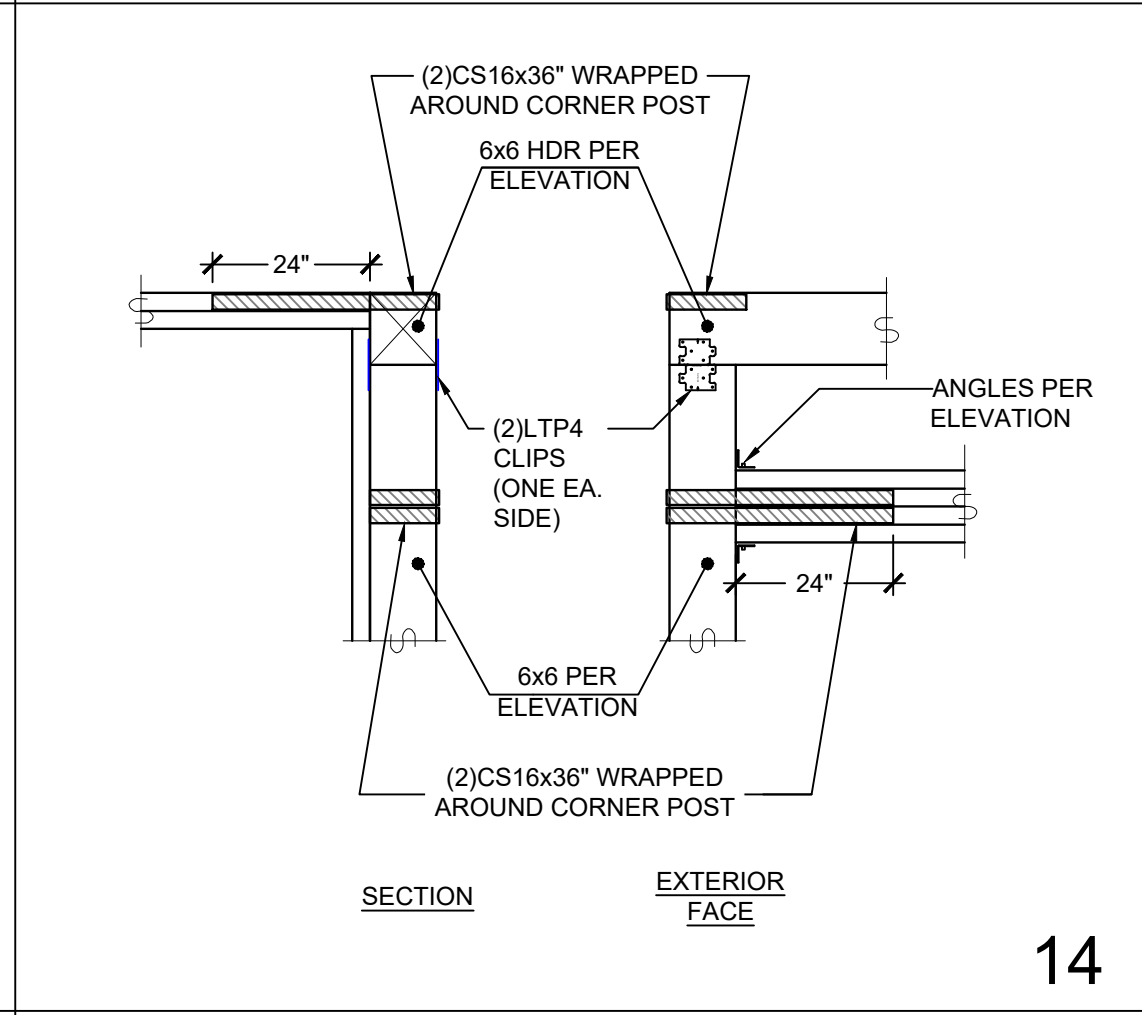
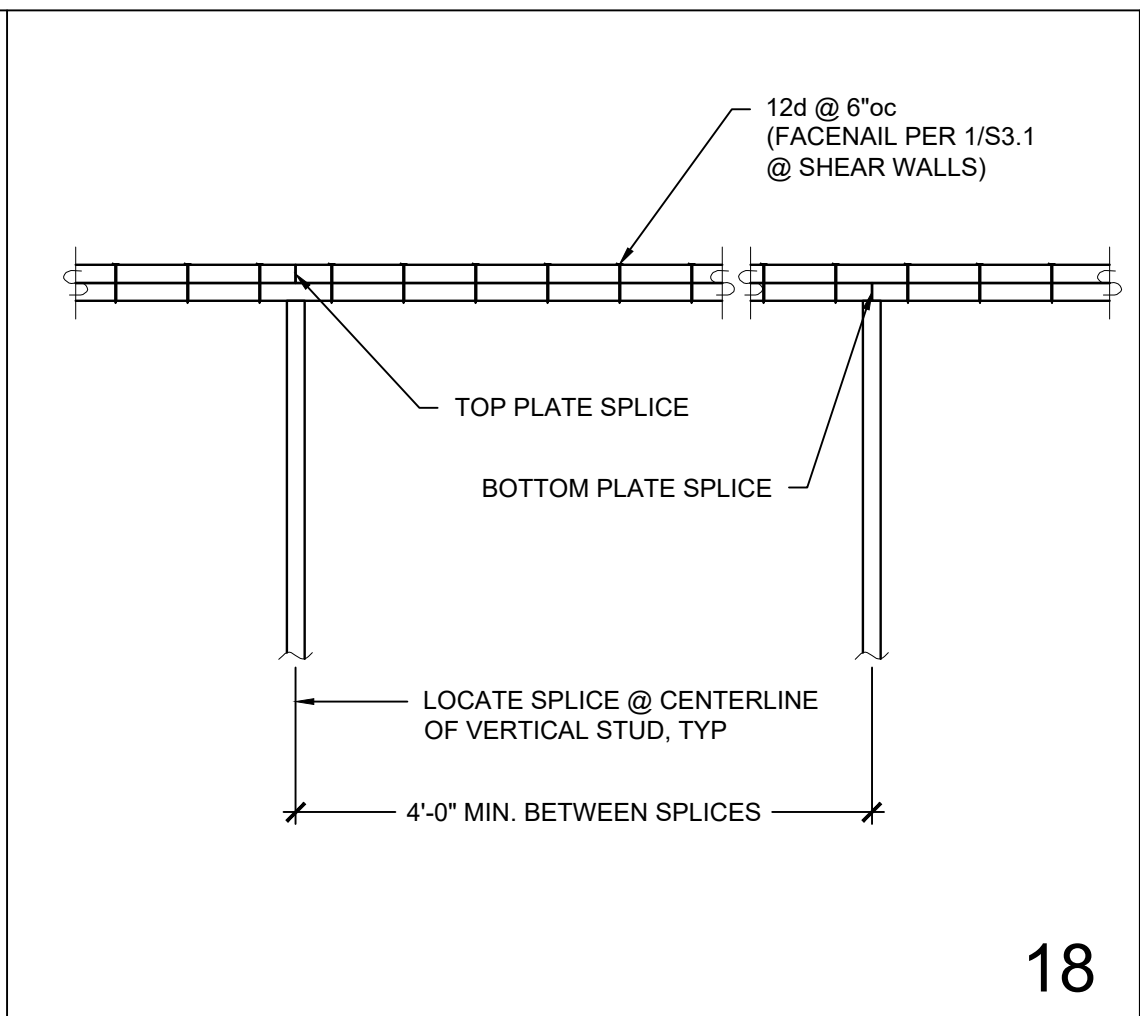
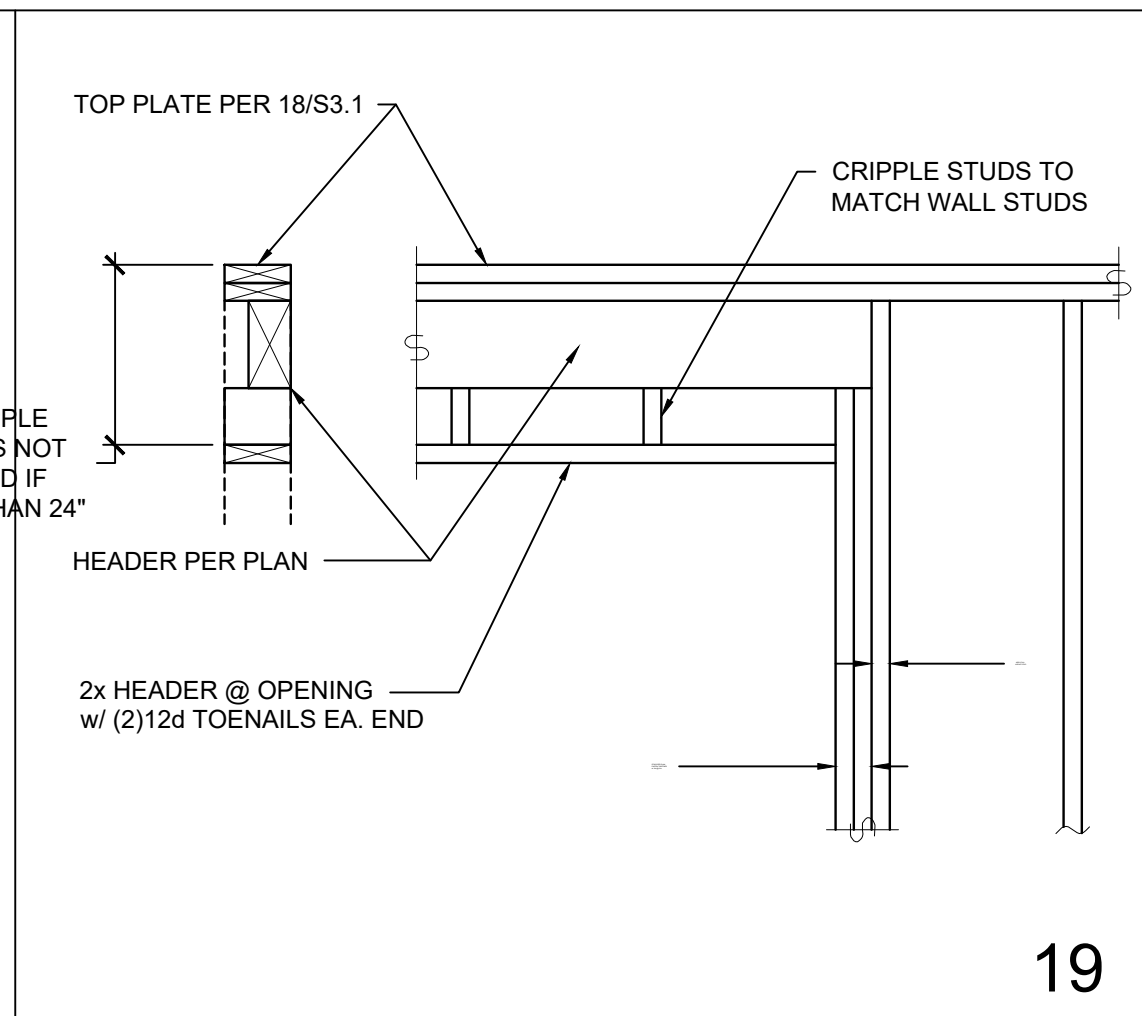
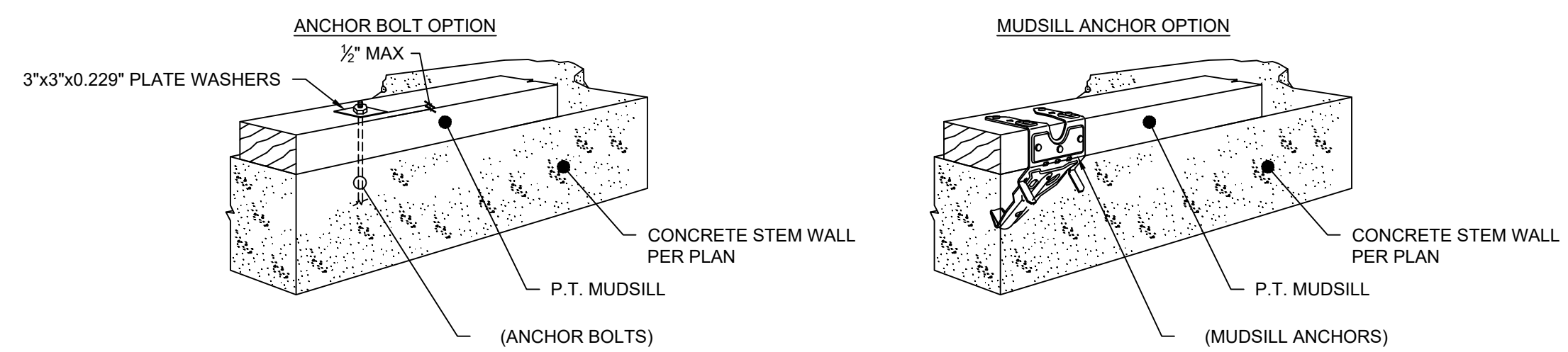


FACE NAILING APPLIES TO CONDITIONS WHERE FRAMING NAILS CAN BE STRAIGHT DRIVEN THRU FIRST MEMBER AND PENETRATE MAIN MEMBER MINIMUM OF 1 1/2". FRAMING NAILS SHALL BE 0.131" x 3/4". 0.131" x 3" NAILS MAY BE USED WHEN STITCHING TOGETHER (2)2x MEMBERS WITH NO SPACERS.

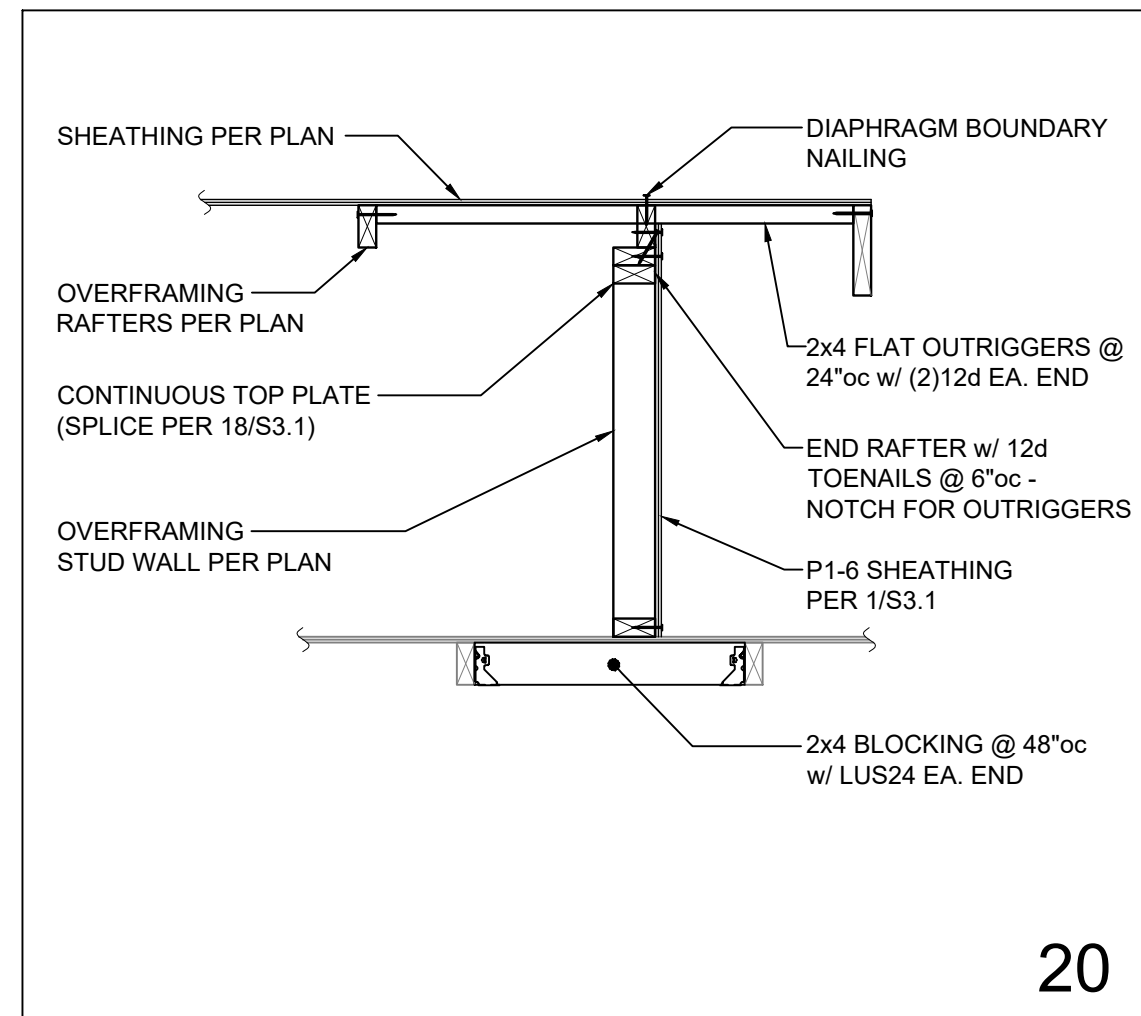
AT ADJOINING PANEL EDGES WHERE SHEATHING CANNOT LAP ON SINGLE MEMBER AND FACE NAILING CANNOT BE ACCOMPLISHED, FRAMING CLIPS SHALL BE USED TO FASTEN BUILT-UP MEMBERS.



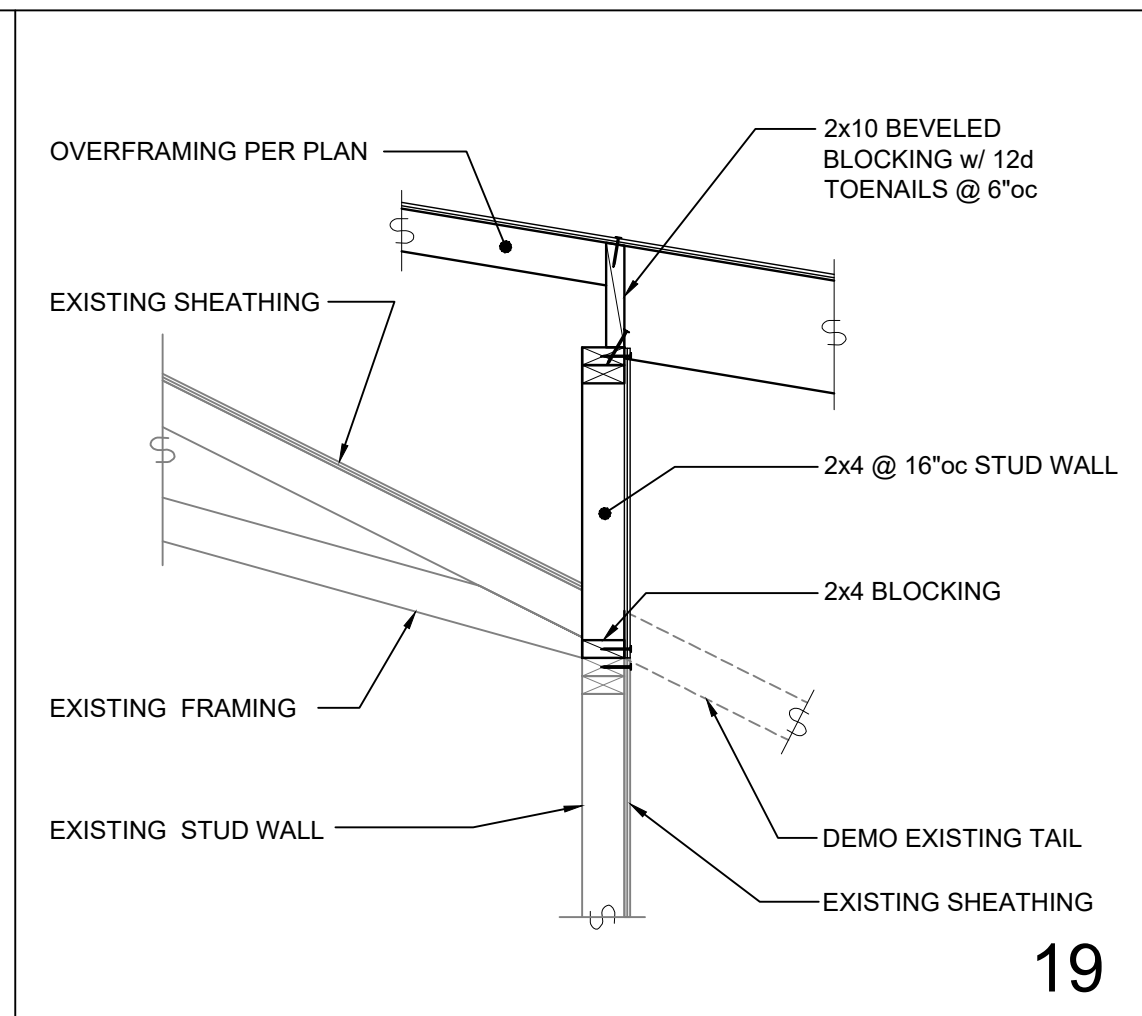
(SECTION 4.3.6.4.3)
ANCHOR BOLTS EMBEDMENT SHALL BE 7", U.O.N. ALL ANCHORS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. IF SHEATHING IS ON BOTH SIDES OF THE WALL, STAGGER THE ANCHOR BOLTS, AS REQUIRED, SO THAT HALF OF THE PLATE WASHERS ARE WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON EACH SIDE. HOLE IN PLATE WASHERS MAY BE DIAGONALLY SLOTTED.



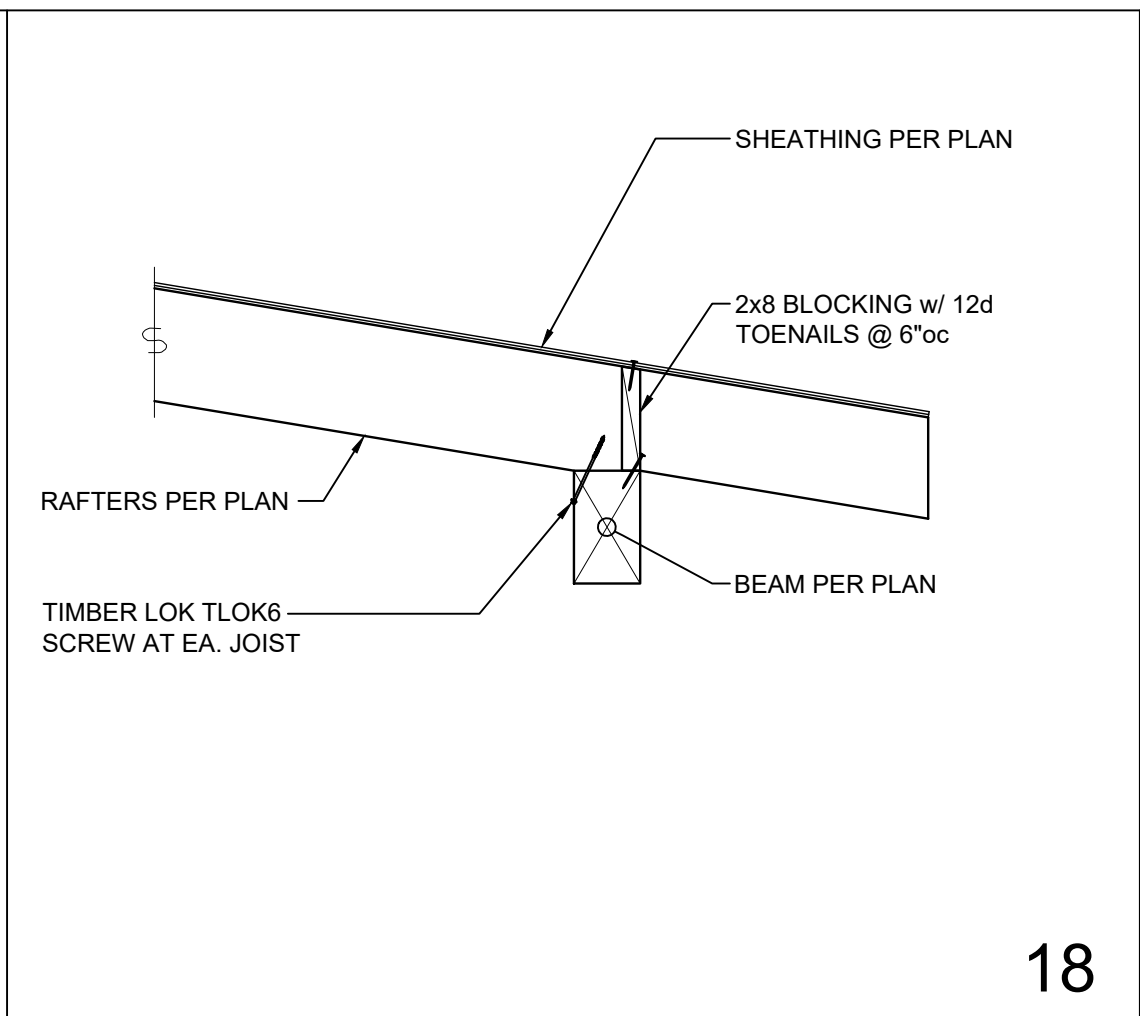
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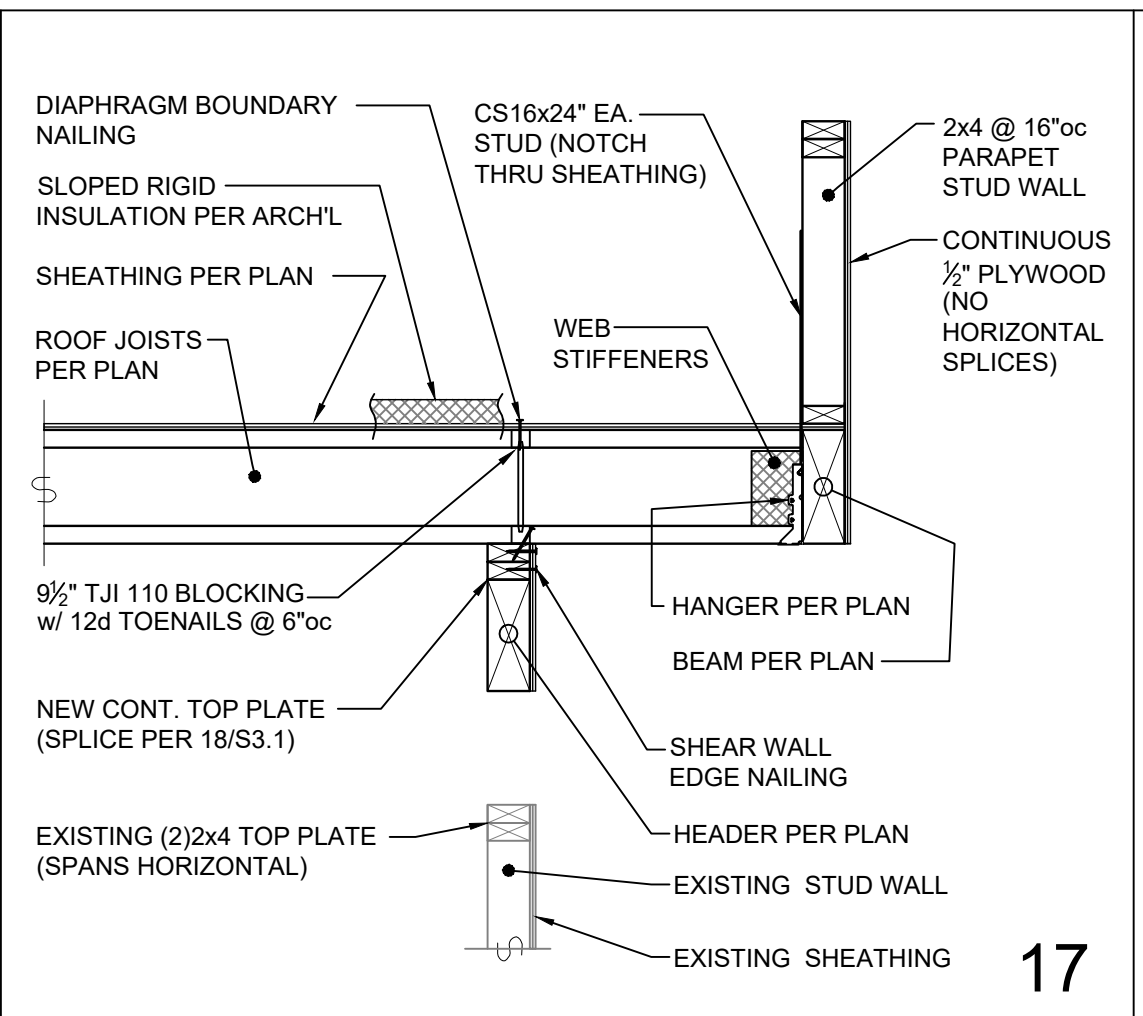
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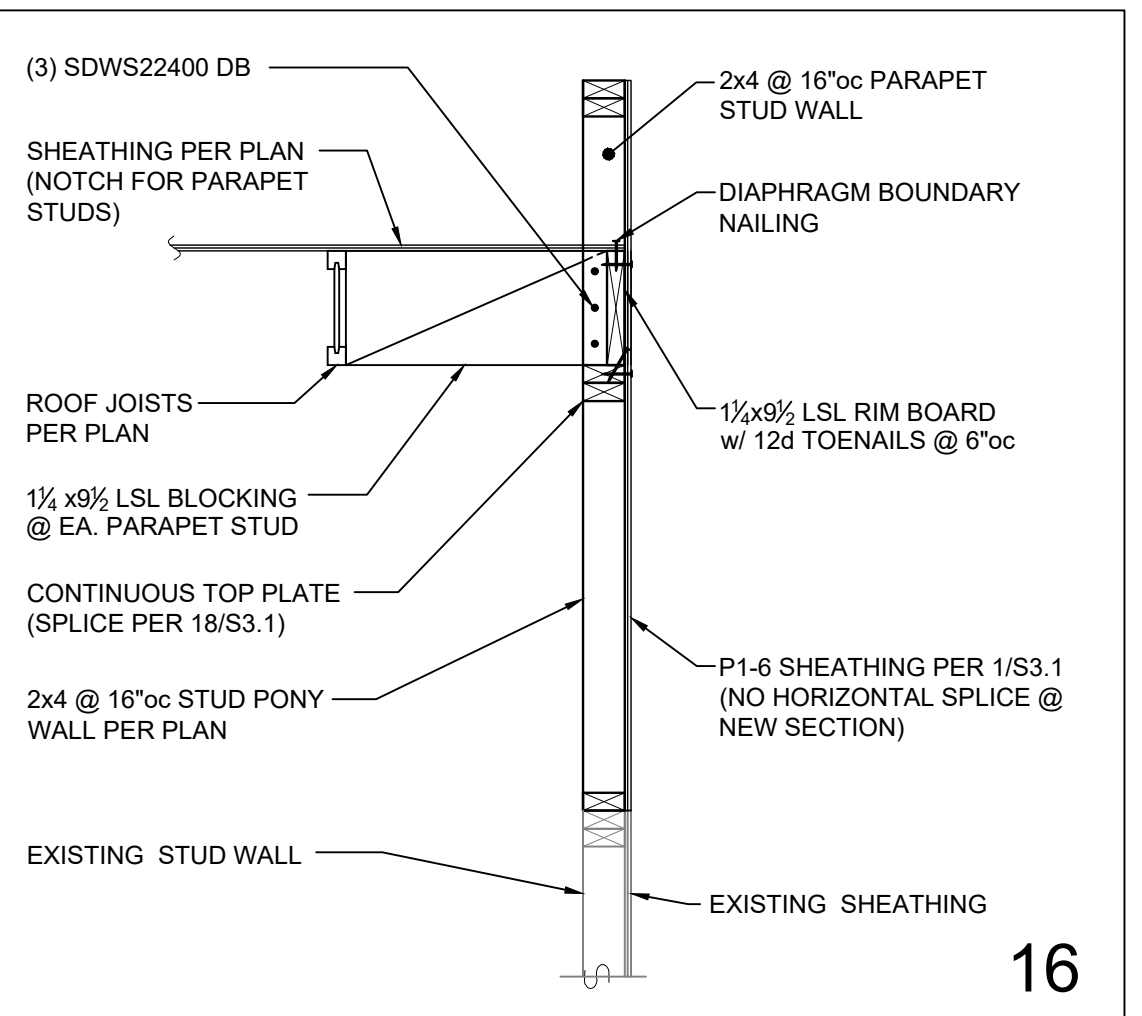
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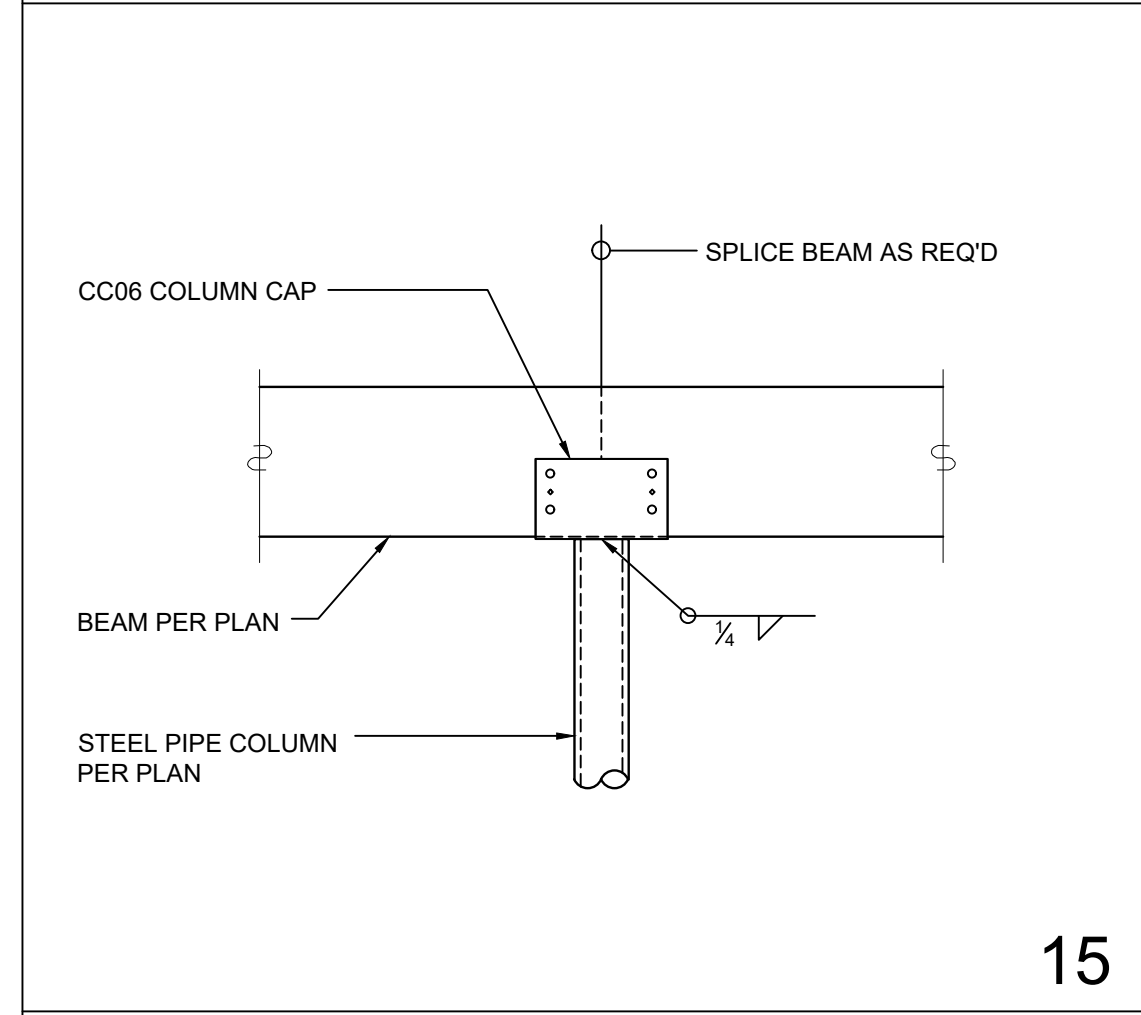
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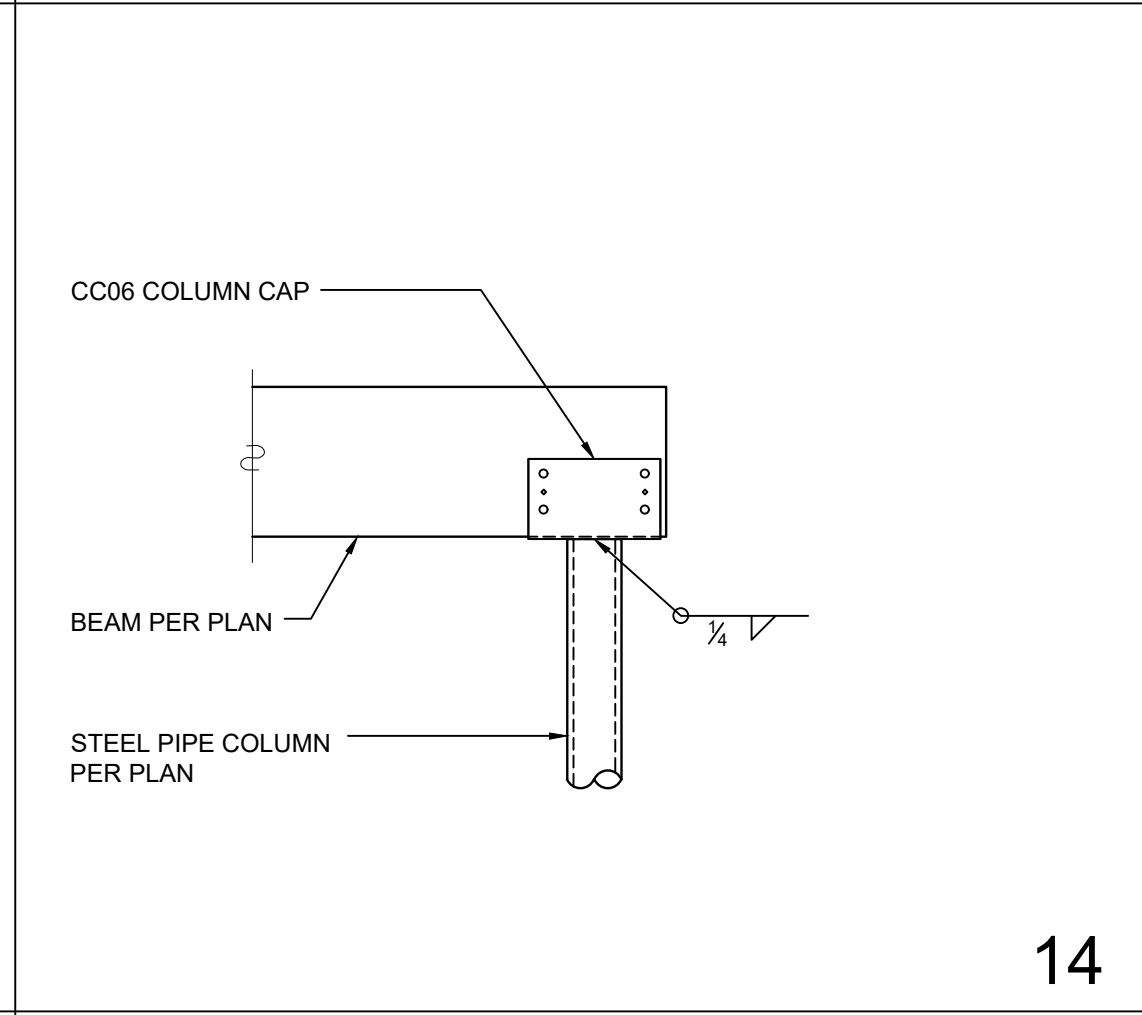
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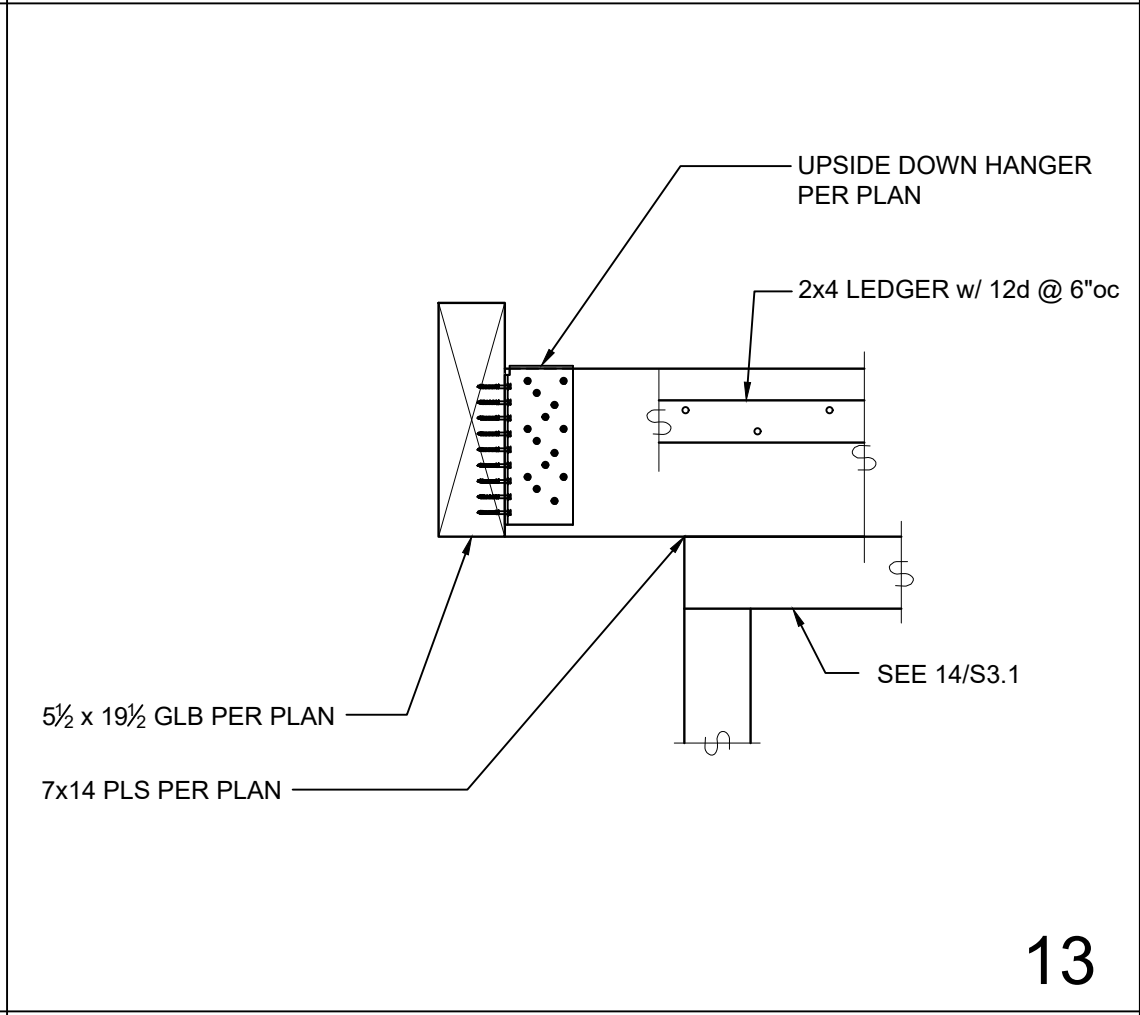
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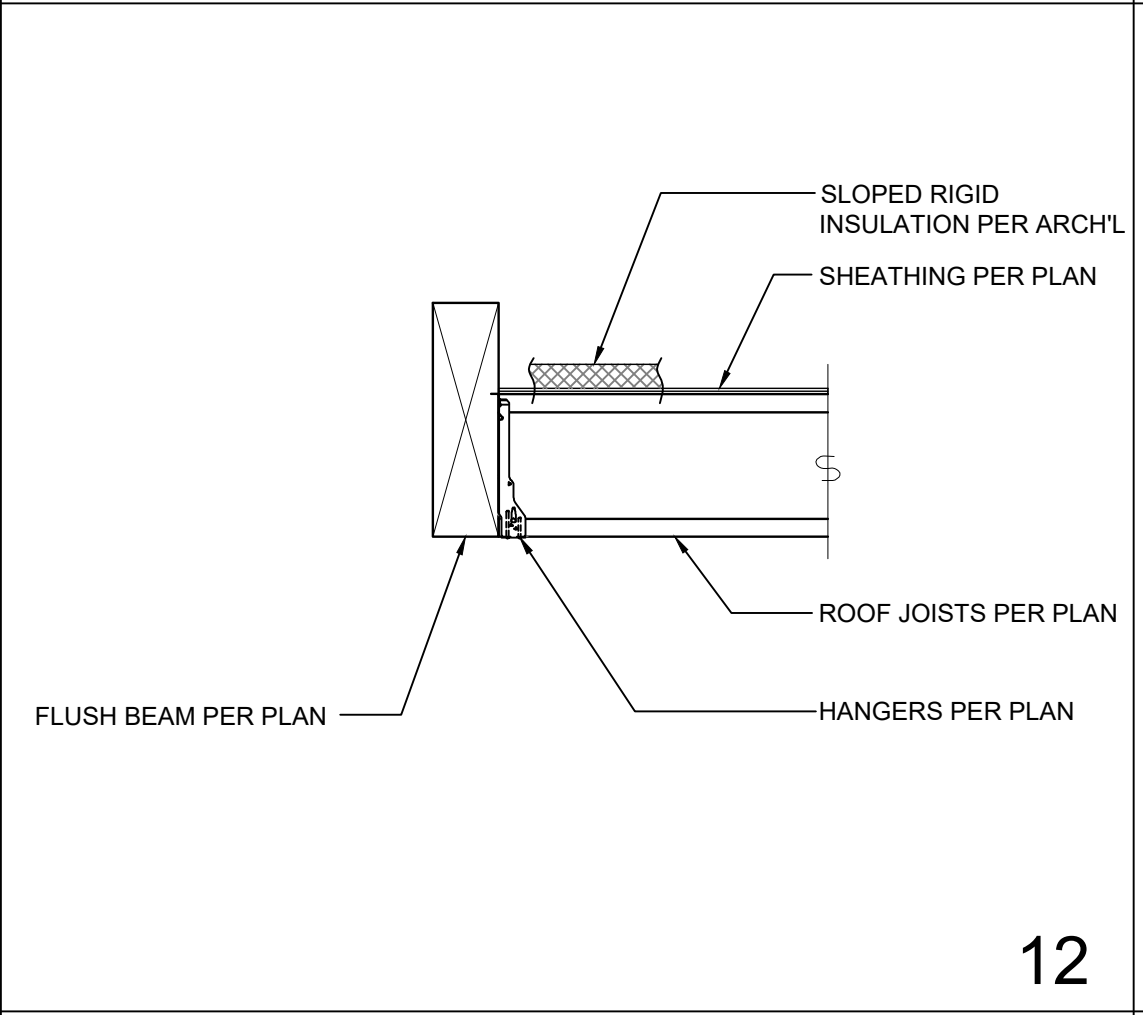
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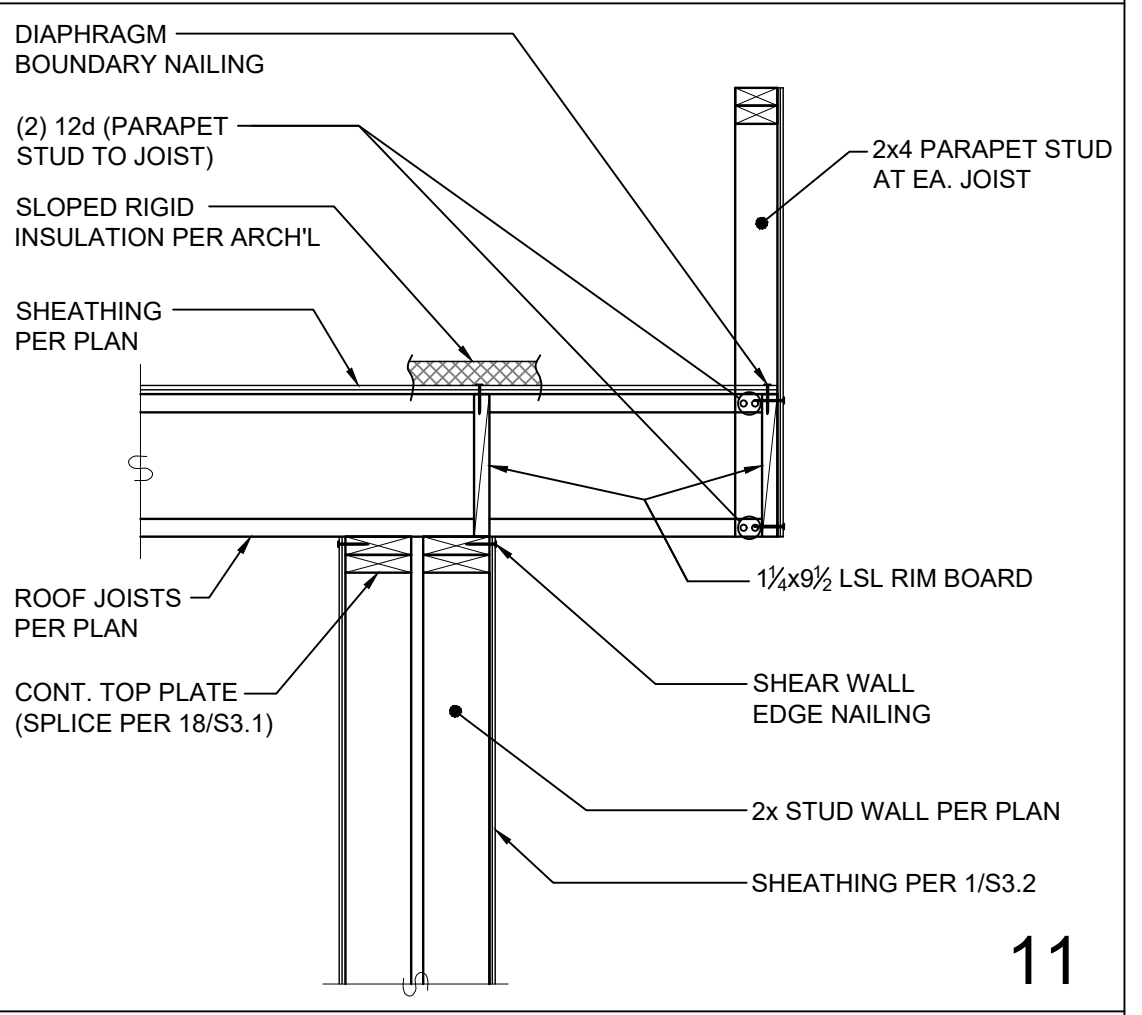
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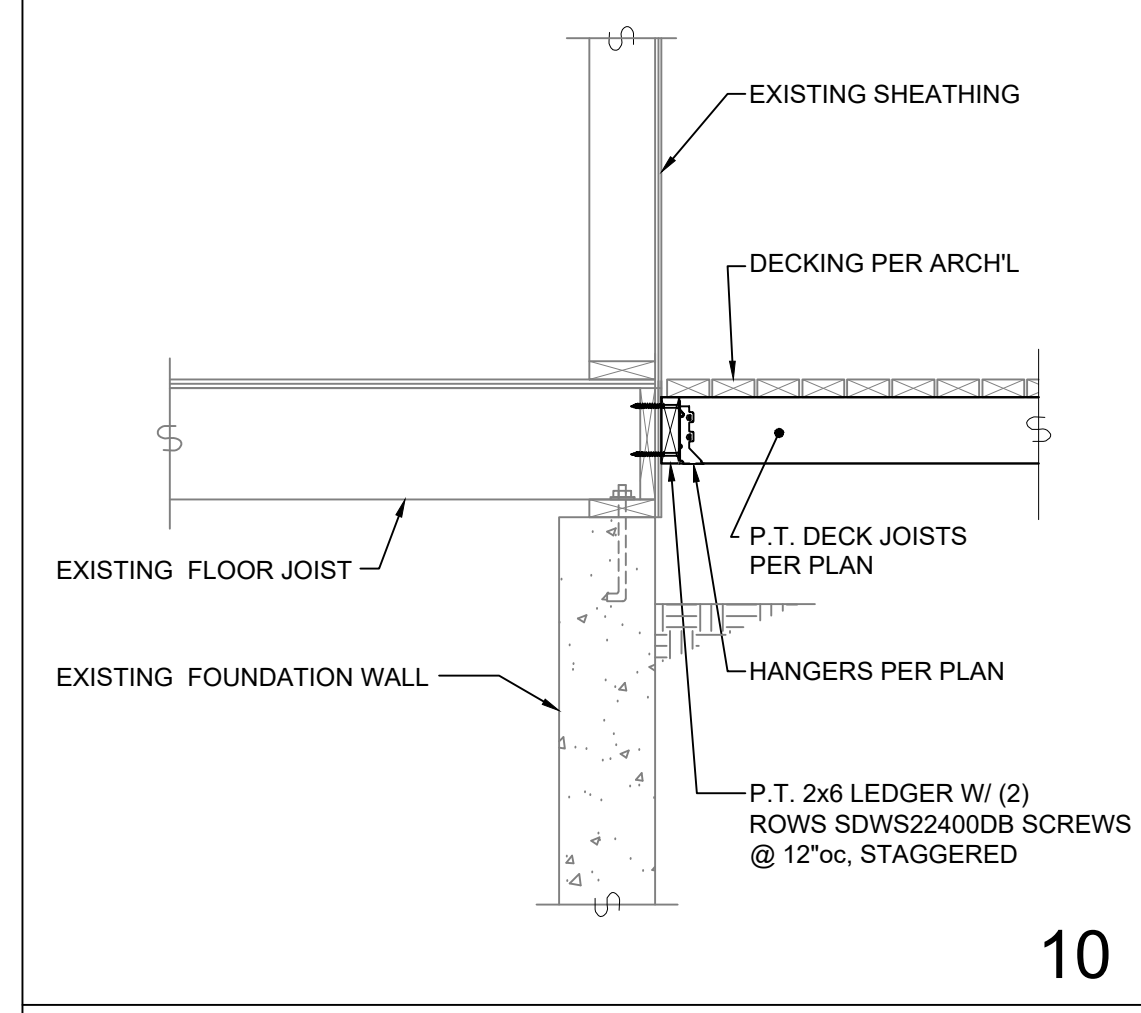
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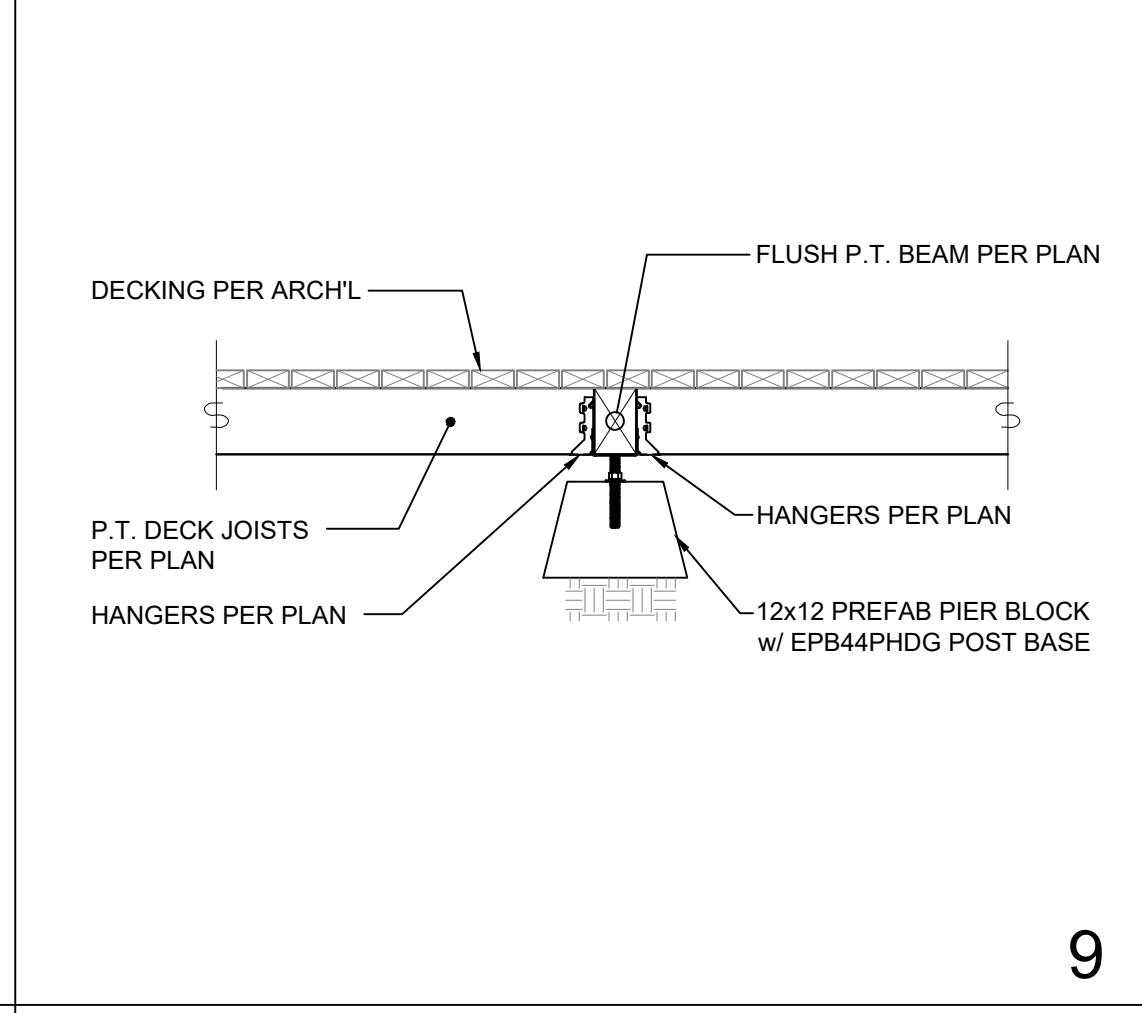
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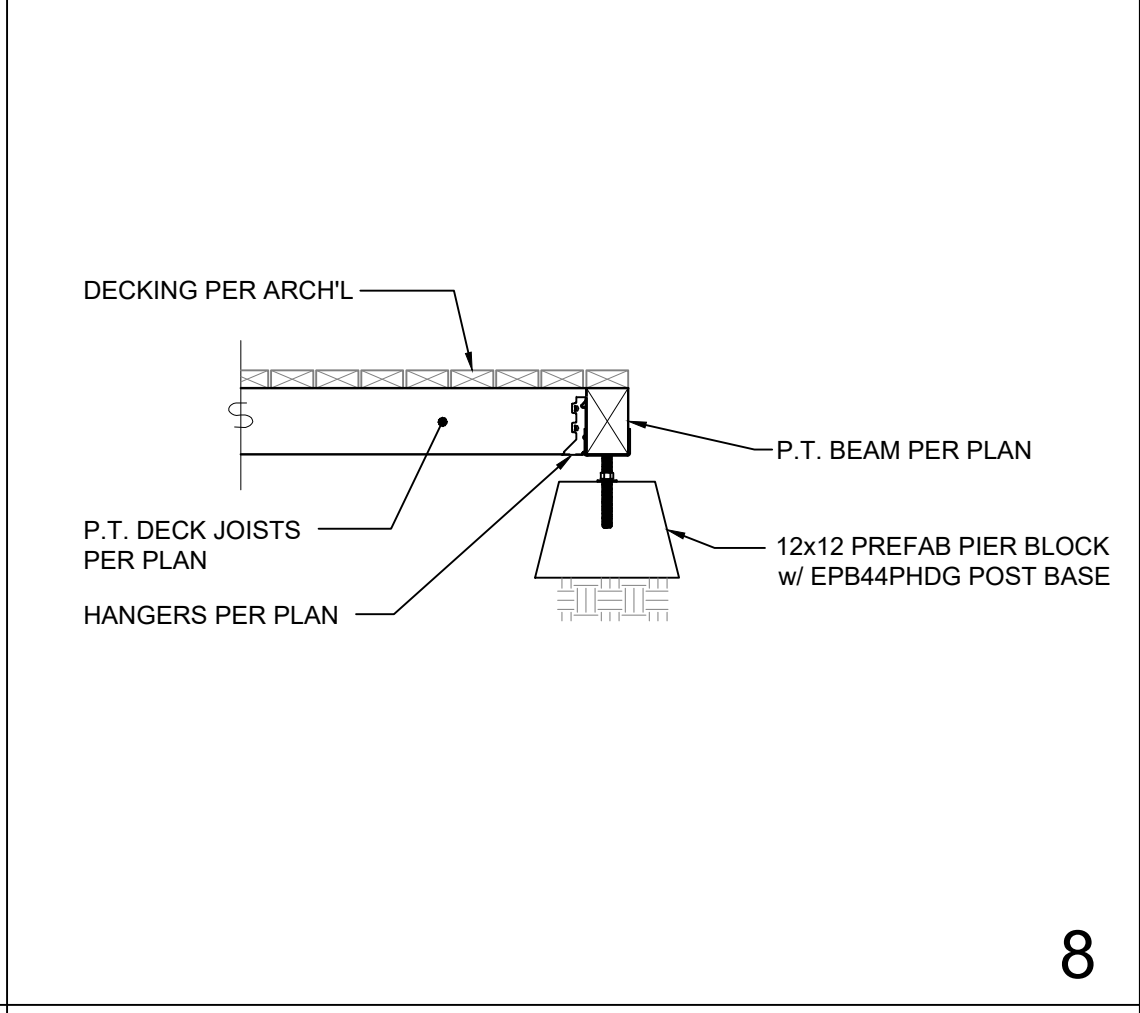
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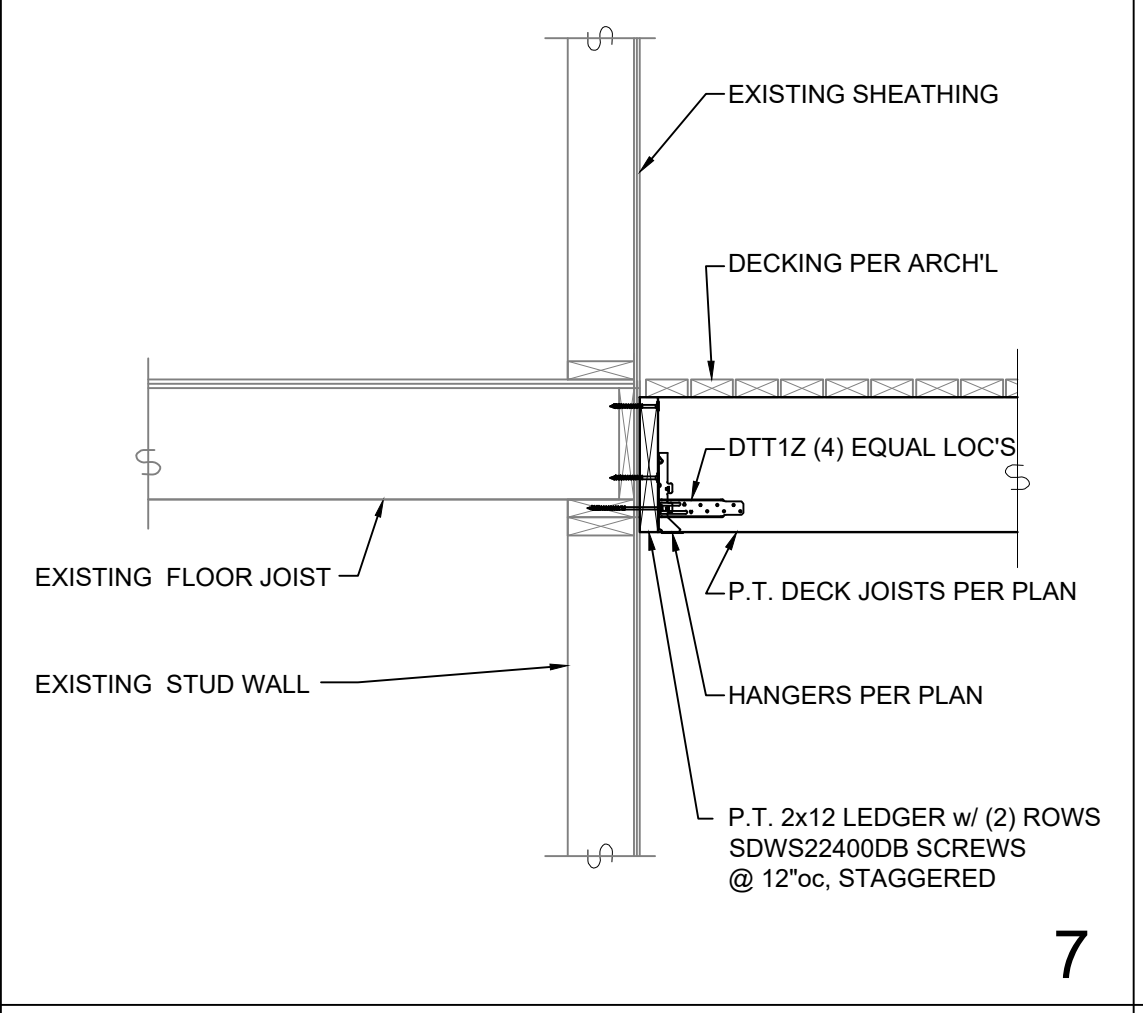
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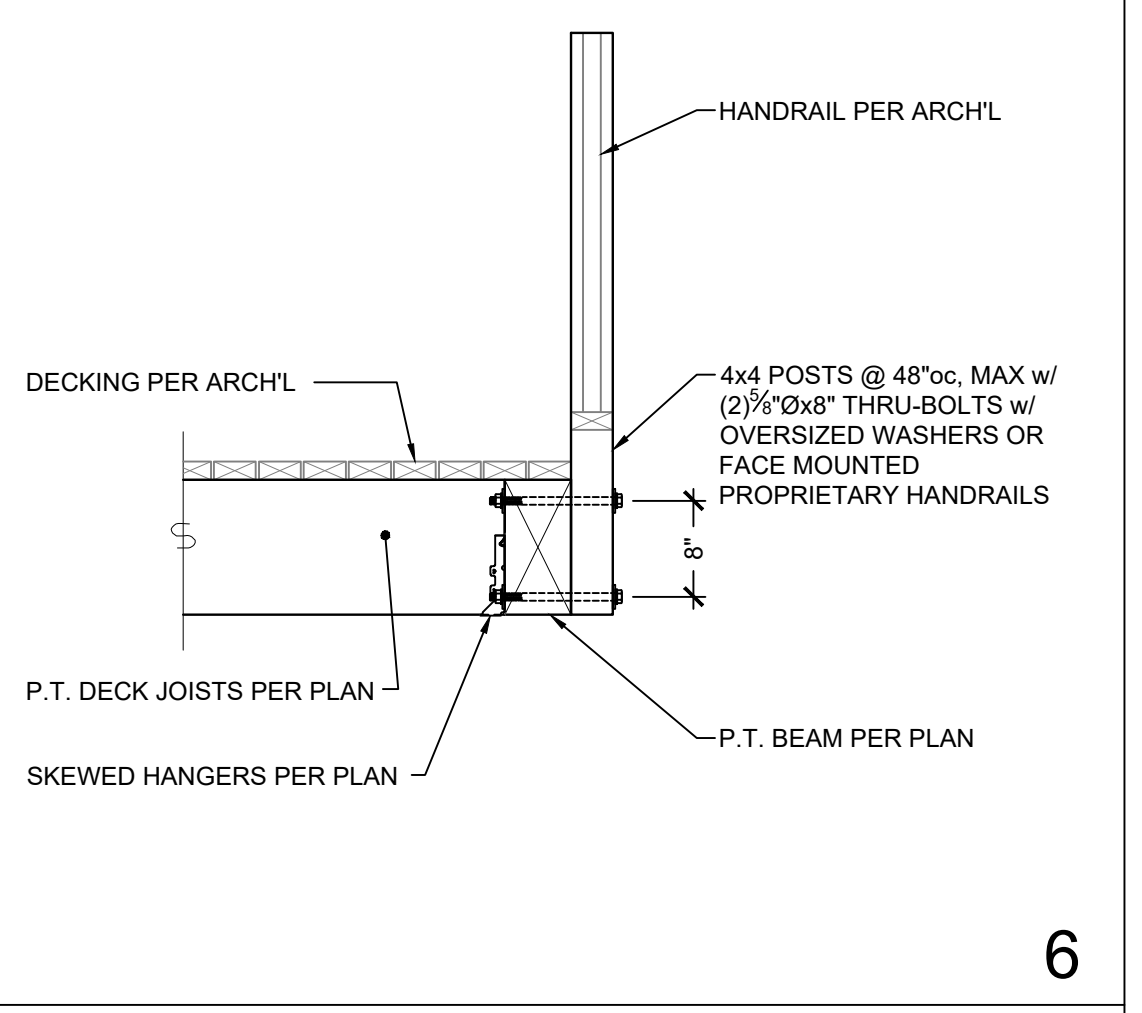
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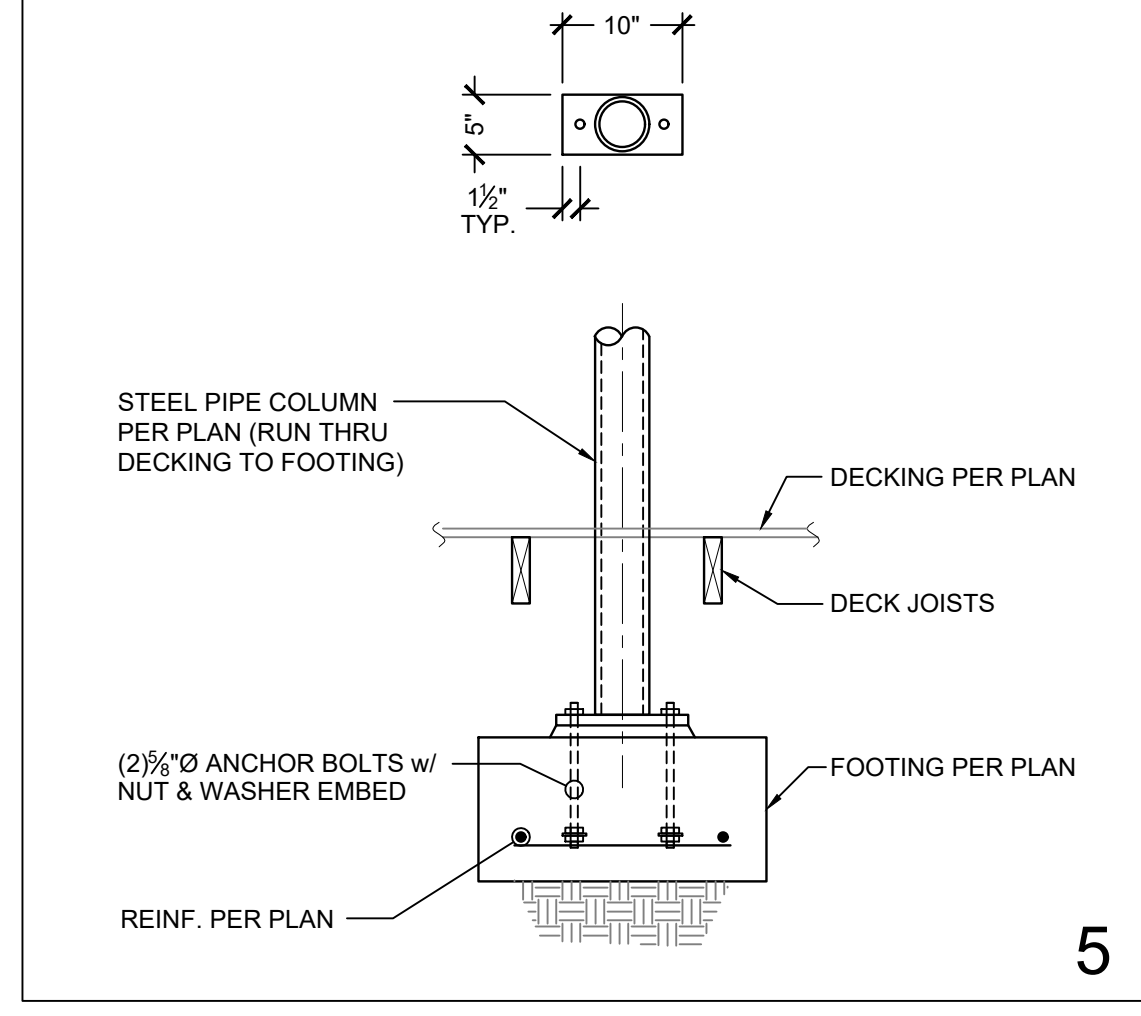
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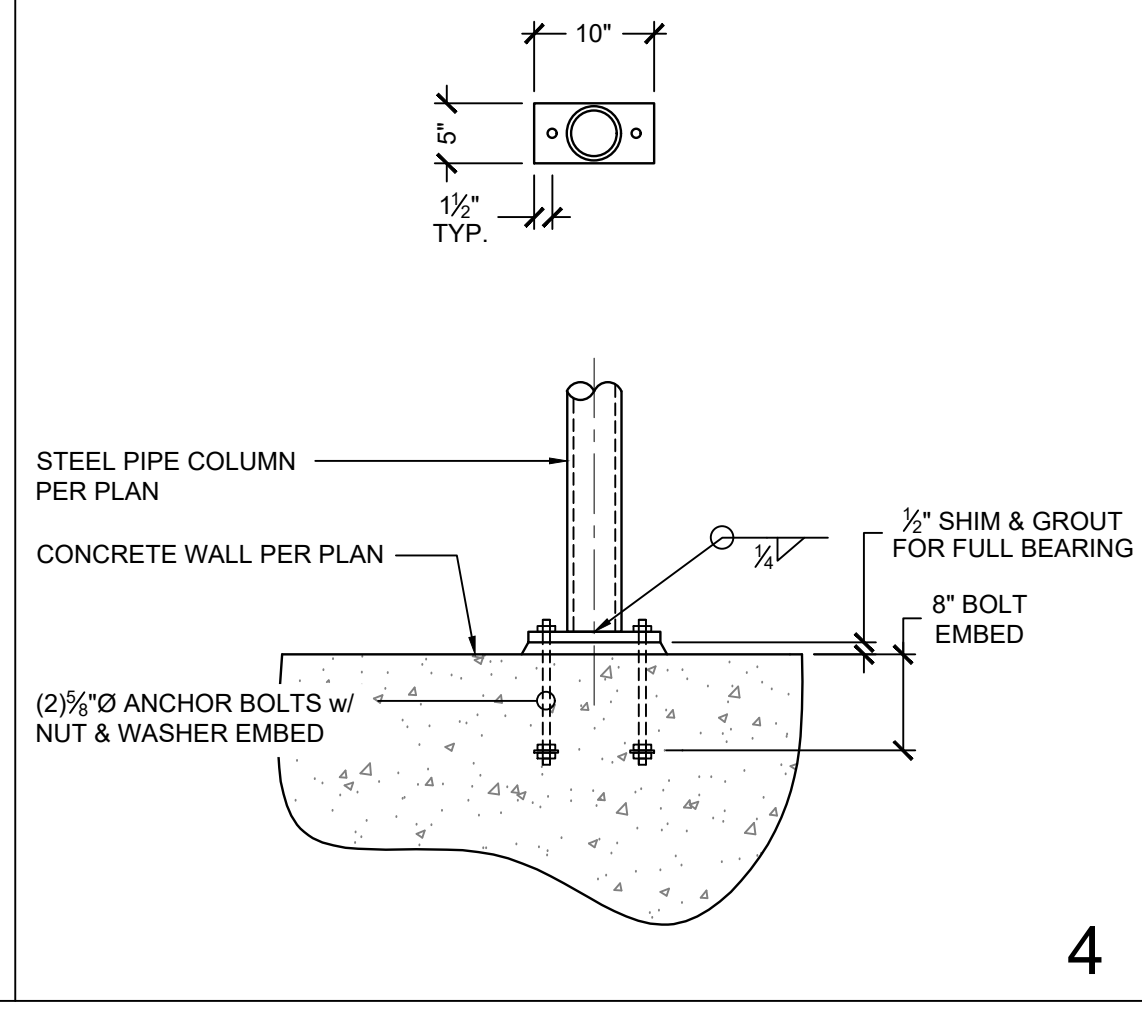
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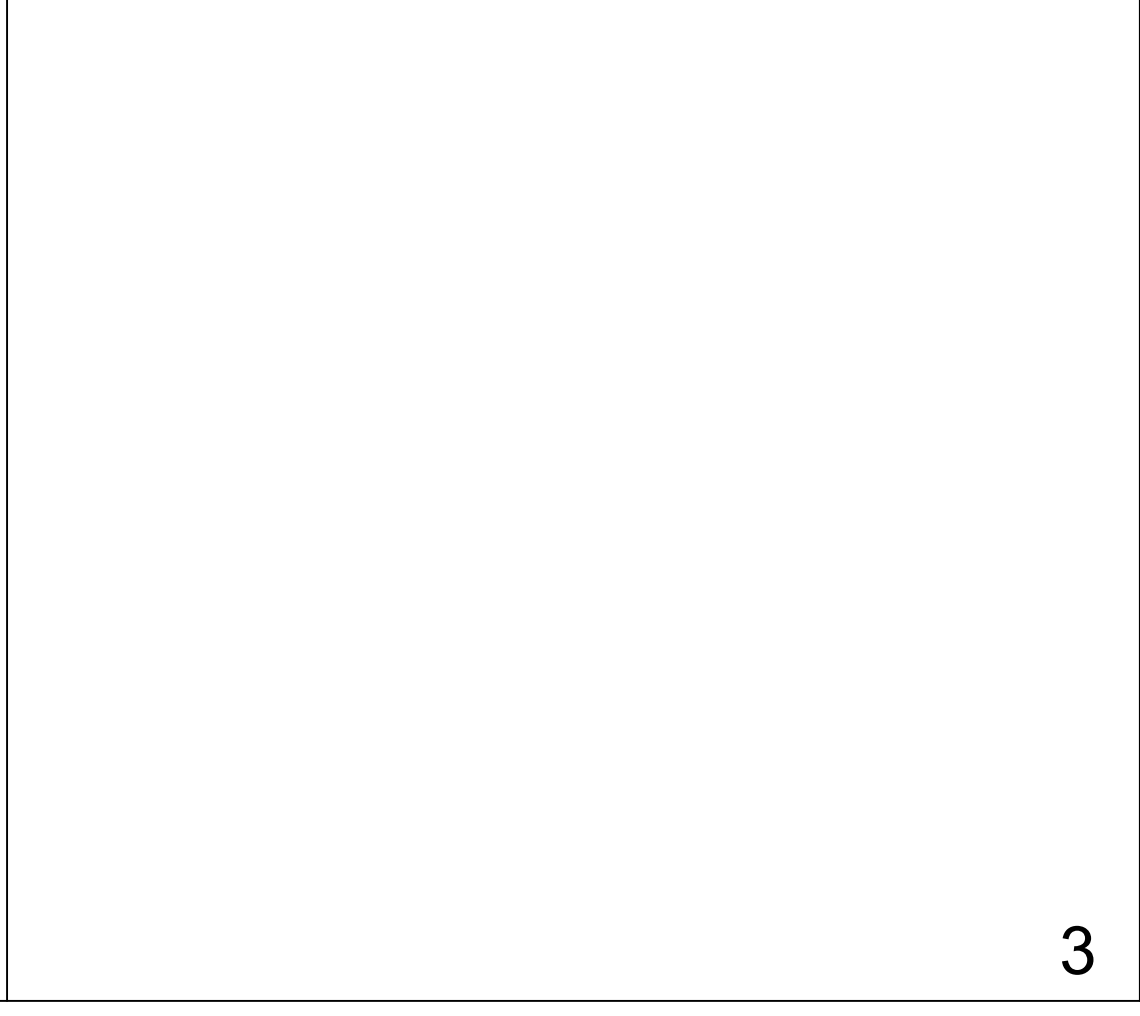
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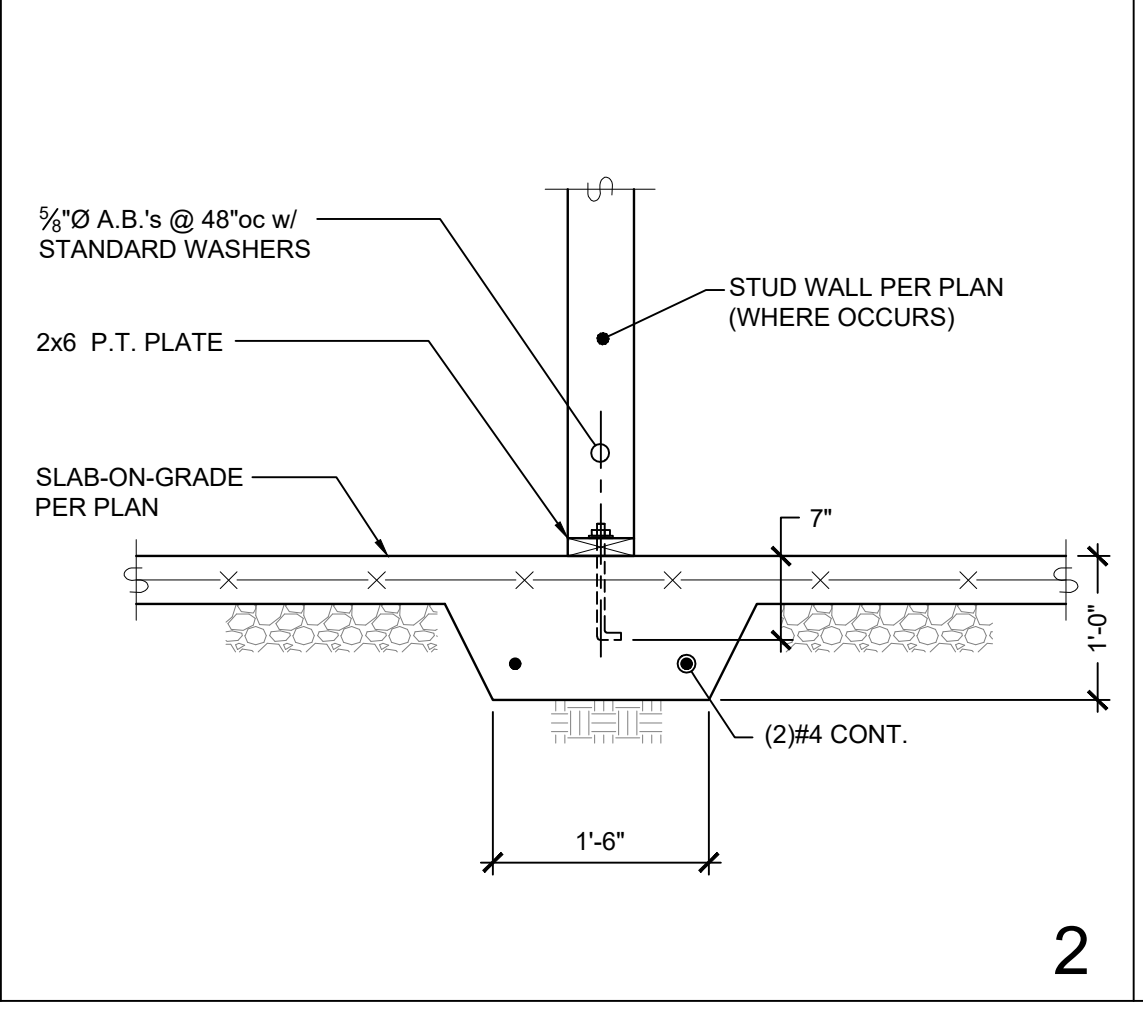
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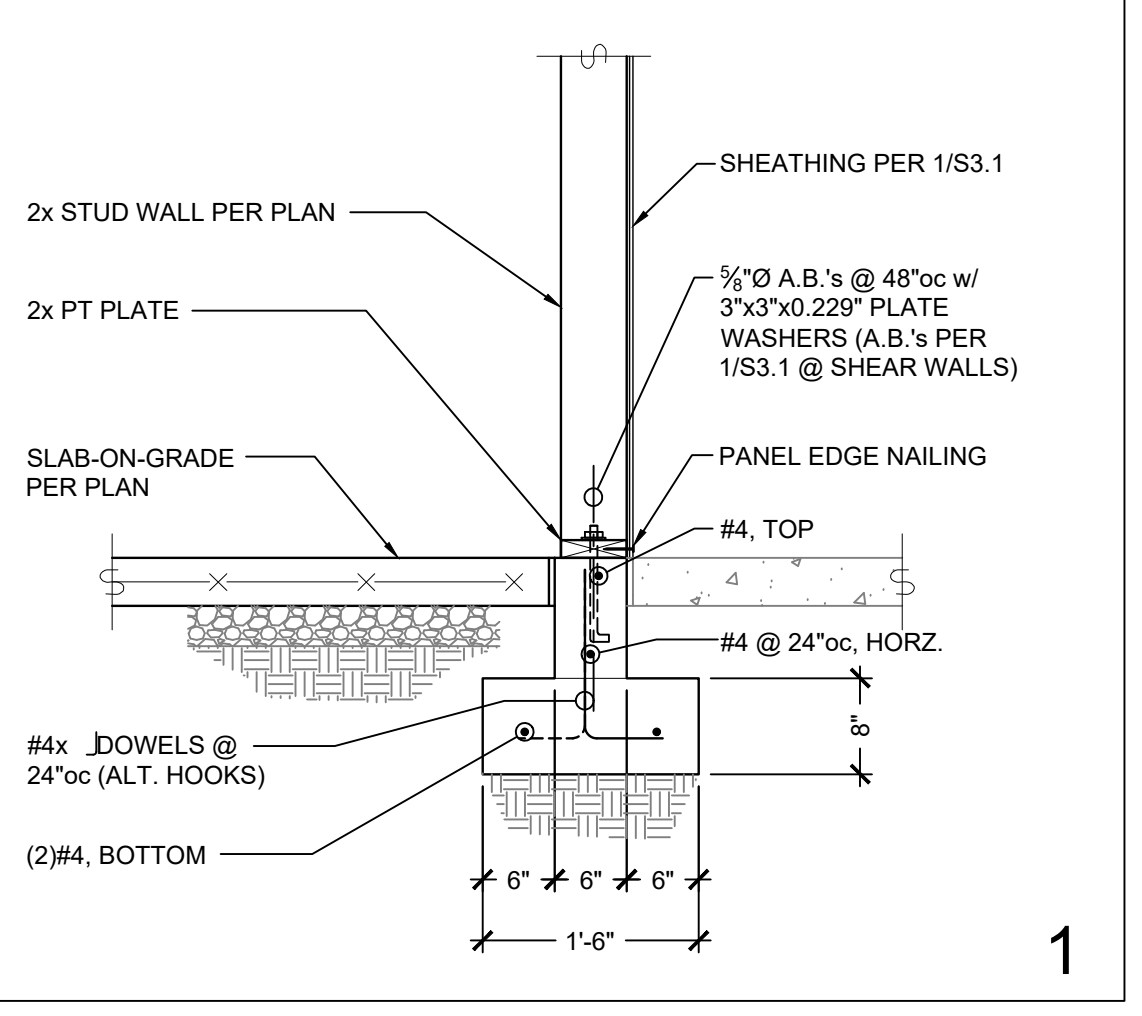
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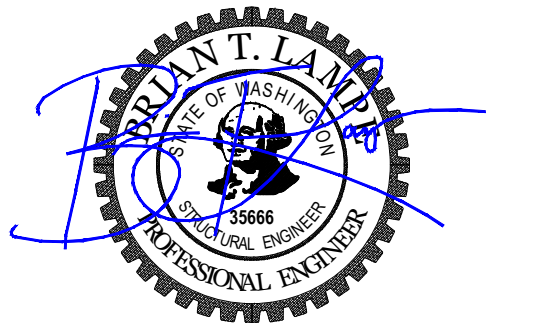
PROJECT NAME
MUNSON RESIDENCE

4628 Forest Avenue SE
Mercer Island, WA 98040

DATE OF ISSUE:
4/10/2019

REVISIONS

PERMIT	4/10/2019
PLAN REVIEW	8/12/2019



PLAN NOTES

1. CONTRACTOR OR BIDDER DESIGN ELECTRICAL TO VERIFY EXISTING ELECTRICAL PANEL SIZE CAN HANDLE ALL NEW ELECTRICAL REQUIREMENTS. OTHERWISE LARGER PANEL IS REQUIRED.
2. BIDDER DESIGN ELECTRICAL IS RESPONSIBLE FOR CODE COMPLIANCE OF ALL ELECTRICAL OUTLETS AND FIXTURES. THOSE INDICATED ON THIS DWG REPRESENT EITHER THE MINIMUM ACCEPTABLE OR A REQUIREMENT OF THE OWNER.
3. SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 & IRC R313. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC313.1. SMOKE ALARMS SHALL BE INSTALLED ON EACH FLOOR INCLUDING HABITABLE ATTICS AND BASEMENTS. THEY SHALL ALSO BE LOCATED IN EVERY SLEEPING ROOM. THEY SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. IRC R314.3
4. CARBON MONOXIDE ALARMS IN NEW CONSTRUCTION, APPROVED CARBON MONOXIDE ALARMS ARE REQD OUTSIDE OF EACH SLEEPING AREA WHEN THERE ARE FUEL FIRED APPLIANCES WITHIN THE DWELLING. IN ADDITIONS AND OR ALTERATIONS REQUIRING A PERMIT, CARBON MONOXIDE ALARMS ARE ALSO REQD IN THE SAME LOCATIONS. IRC R315
5. PLEASE SEE PLANS AND ELEVATIONS FOR FURTHER INFO REGARDING PLACEMENT OF ELECTRICAL ITEMS.
6. ALL BULBS TO BE LED 2700K OR SIM, U.N.O.

ELECTRICAL SYMBOLS

- G.F.I. GROUND FAULT INTERRUPTER
- WP WATER-PROOF OUTLET
- DUPLEX
- 240 240V
- SOFFIT OR FLOOR OUTLET
- PENDANT
- WALL SCONCE
- CHANDELIER
- CEILING MOUNT FLUSH
- STEP LIGHTS
- PUCK LIGHT
- 4" DIA. RECESSED LED CAN WHITE INTERIOR
- CEILING FAN W/ LIGHT
- RECESSED SPOTLIGHT
- VENT TO OUTSIDE
- SMOKE & CARBON DETECTOR
- ETHERNET
- TV CABLE TV
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- DOOR BELL
- CHIME
- THERMOSTAT
- UNDER CAB LED STRIPS

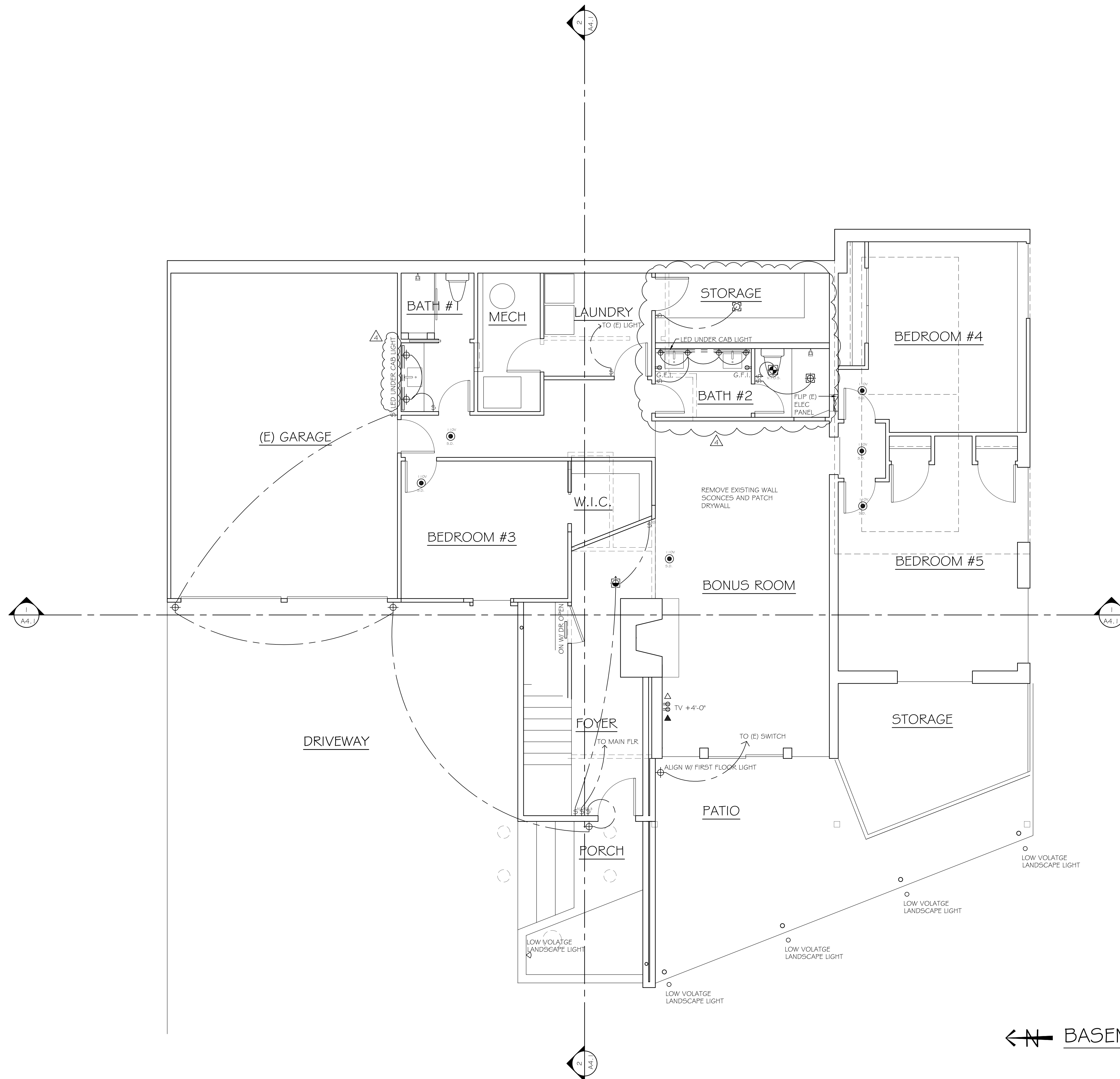
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 - 8-22-19, V.E., ADD KID BATH2

DRAWING TITLE
E1.1 BASEMENT ELECTRICAL



← **BASEMENT FLOOR PLAN**

CLEARY DESIGN STUDIO, LLC

130 105th Ave SE #301
Bellevue, WA 98004
425.442.6788

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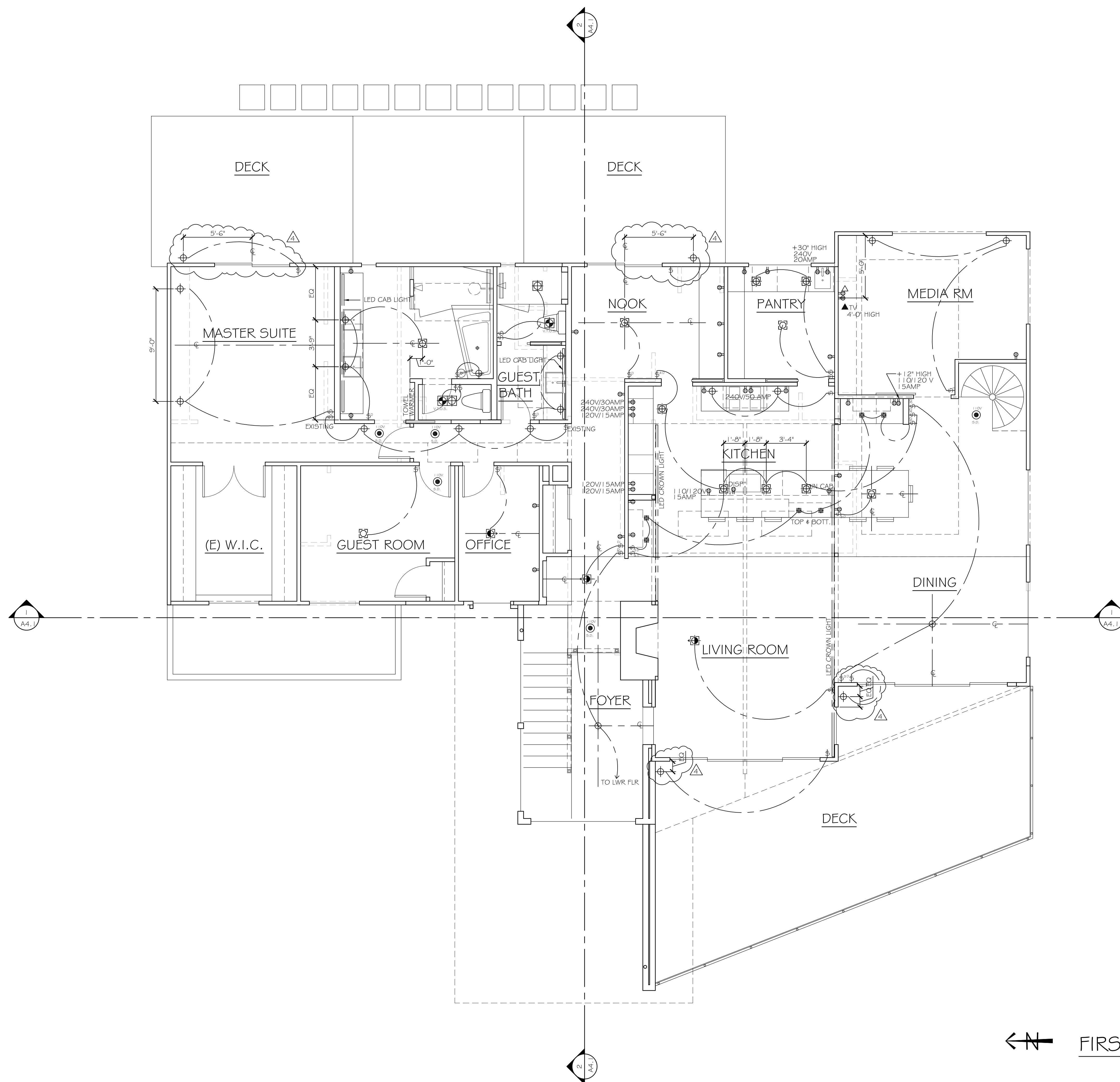
E2.1
2ND FLOOR
ELECTRICAL

PLAN NOTES

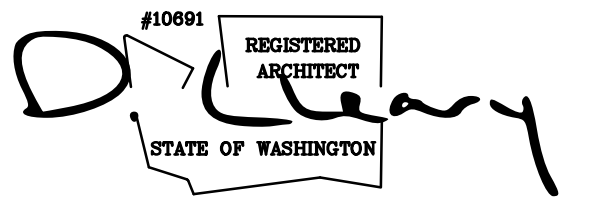
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ELECTRICAL SYMBOLS

- G.F.I. Ⓢ GROUND FAULT INTERRUPTER
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- Ⓢ SOFFIT OR FLOOR OUTLET
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- Ⓢ CHANDELIER
- Ⓢ CEILING MOUNT FLUSH
- STEP LIGHTS
- Ⓢ PUCK LIGHT
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- Ⓢ DOOR BELL
- Ⓢ CHIME
- Ⓢ THERMOSTAT
- Ⓢ UNDER CAB LED STRIPS OR CROWN LED STRIPS



← FIRST FLOOR PLAN



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▲ 8-22-19, V.E., ADD KID BATH2

DRAWING TITLE
E3.1
3RD FLOOR
ELECTRICAL

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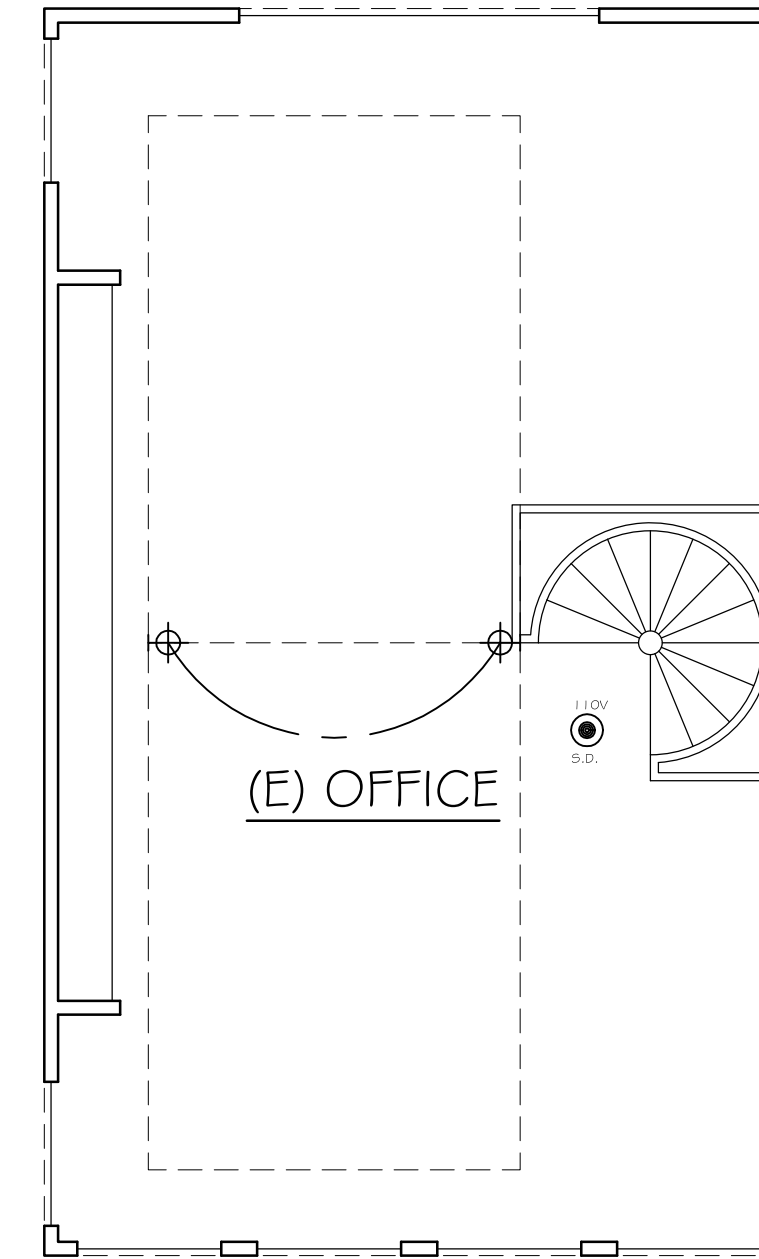
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5. PLEASE SEE PLANS AND INTERIOR ELEVATIONS FOR FURTHER INFO REGARDING PLACEMENT OF ELECTRICAL ITEMS.

6. WIRE EVERY FLOOR WITH ETHERNET.

ELECTRICAL SYMBOLS

- G.F.I. GROUND FAULT INTERRUPTER
- WP WATER-PROOF OUTLET
- DUPLEX
- 240 240V
- SOFFIT OR FLOOR OUTLET
- PENDANT
- WALL SCONCE
- CHANDELIER
- CEILING MOUNT FLUSH
- DECK STEP LIGHTS
- PUCK LIGHT
- 4" DIA. RECESSED CAN WHITE INTERIOR, LED COLOR TBD BY CLIENT, ELECTRICIAN TO SHOW CLIENT SAMPLES
- CEILING FAN W/ LIGHT
- RECESSED SPOTLIGHT
- VENT TO OUTSIDE
- SMOKE & CARBON DETECTOR
- ETHERNET
- TV CABLE TV
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- DOOR BELL
- CHIME
- THERMOSTAT



← N SECOND FLOOR PLAN

